

**Project:** **Jonata MS Structural Beam Investigation**  
**Project No. 2-2023-10-02-01**  
 Jonata Middle School  
 301 2nd St, Buellton, CA 93427

**Owner:** Buellton Union School District  
 301 2nd St, Buellton, CA 93427

**Construction Manager:** TELACU Construction Management  
 604 N. Eckhoff Street  
 Orange, CA 92868

**BID ADDENDUM 01**

**Revision:** **October 25, 2023**

*Note: The following revisions and clarifications to the Bid Documents (plans and specifications) shall become a part of the Contract Documents upon award of Bid. All Bidders are required to incorporate all necessary changes, additions, or deductions into their proposals.*

*In case of conflict between Bid Documents and this Addendum, this Addendum shall govern. Bidder shall acknowledge receipt of this Addendum on the Bid Form as noted in the Instruction to Bidders, failure to do so may subject Bidder to disqualification.*

**Project Manual, Bid Procedures and Contract**

1. Hazardous Materials Allowance: Bidders are to include an **allowance of \$10,000** for potential abatement of hazardous materials identified per the forthcoming hazardous materials report. Allowance will be owner controlled. Abatement and removal of hazardous materials must be done in legal and safe manner, a certified abatement contractor must be retained for this project in the event that hazardous materials are present.
2. Added Specification: Section 00 54 60 Hazardous Materials Procedures and Requirements
3. Added Specification: Section 09 91 00 Painting

**Project Scope**

1. Updated Scope Plans: Project scope was revised to reduce the extent of demolition required at each indicated area. Refer to the attached updated Scope Plan Sheets

**Note:** Bid deadline remains as originally stated - Tuesday, October 31<sup>st</sup> 2023 at 2:00 pm

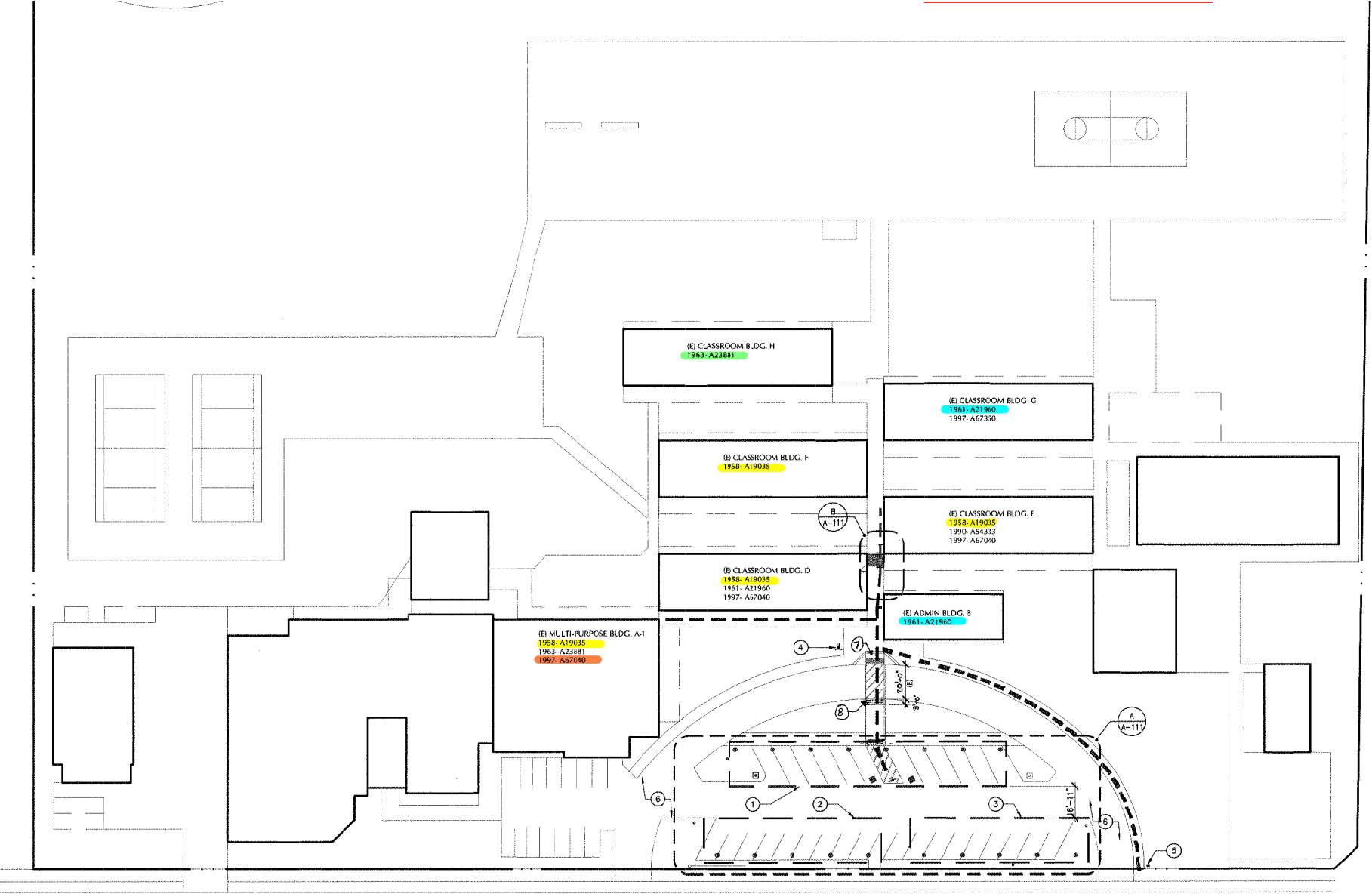
Prepared by,

TELACU Construction Management

**Attachments:**

1. Jonata Struct Investigation-Expose Finishes Scope R1 dated 10/25/2023
2. Specification Section 00 54 60 Hazardous Materials Procedures and Requirements
3. Specification Section 09 91 00 Painting

**Jonata Middle School - Buellton USD**  
**Structural Beam Investigation**  
**Addendum 1 - 10/25/2023**



SECOND STREET

LA LATA DRIVE

# Jonata Middle School

**GENERAL NOTES:**

1. Finish Removal is to occur at exterior side of glue-laminated beams indicated, exposing the full height along indicated beams at a minimum of 3'-0" from the corner of structure's wall corner.

2. The exterior side of the glue-laminated beams indicated are to be exposed in-order to be structurally observed by a structural engineer to determine if beam will need replacement or repairs (Under a separate future contract):

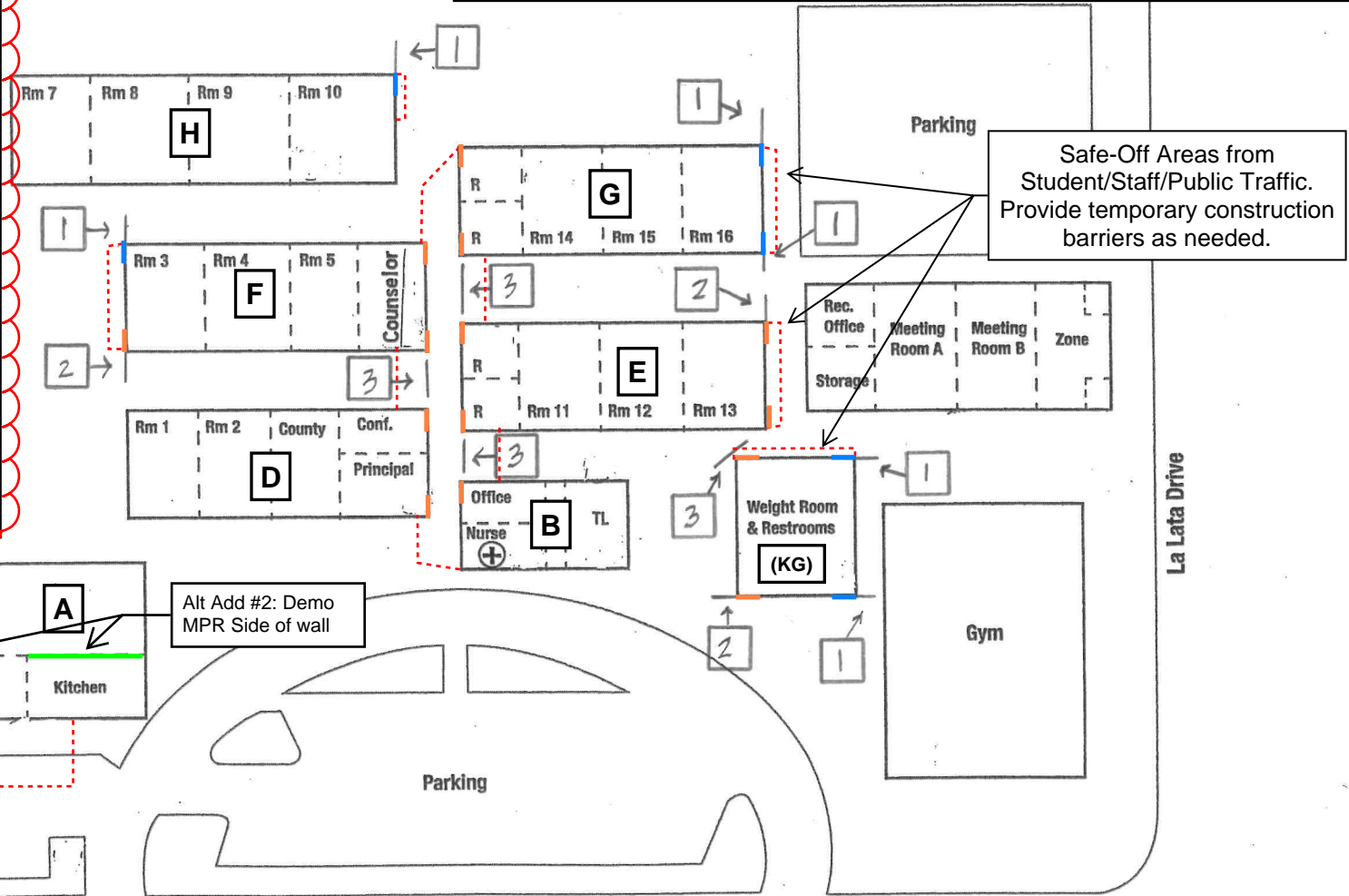
2a. If no structural damage is observed at opened up wall, proceed to install new sheathing (as needed) and new finishes/paint.

2b. If structural damage is observed at opened up wall and replacement or repair is called for by the Structural Engineer, proceed to sheath (as needed), waterproof and close wall with plywood in-lieu of new finishes.

3. Protect all existing speakers, fire alarm system, communication systems and electrical systems in-place. Demo around devices and cabling as needed.

4. Safe-off work areas for students, staff and public traffic. Provide temporary construction barriers as needed.

- Base Bid Remove & Replace Finishes
- Alternate #1 Remove & Replace Finishes
- Alternate #2 Remove & Replace Finishes @ Kitchen Wall



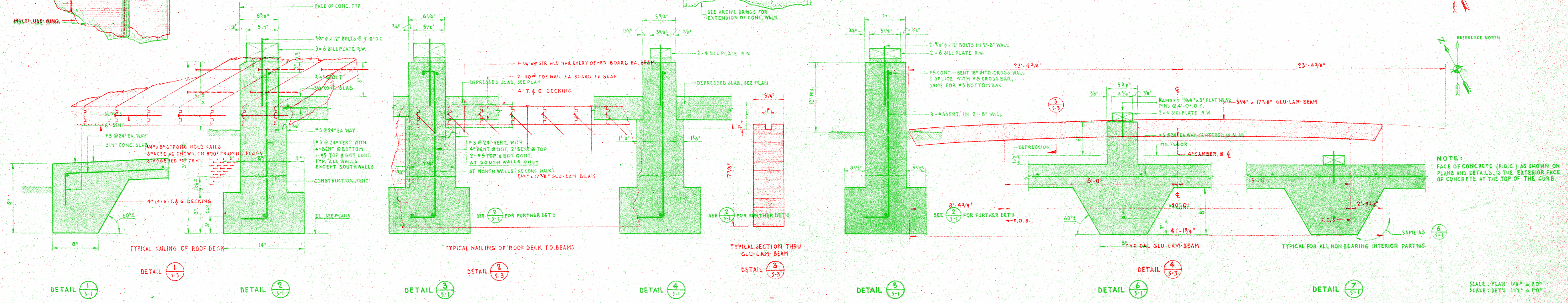
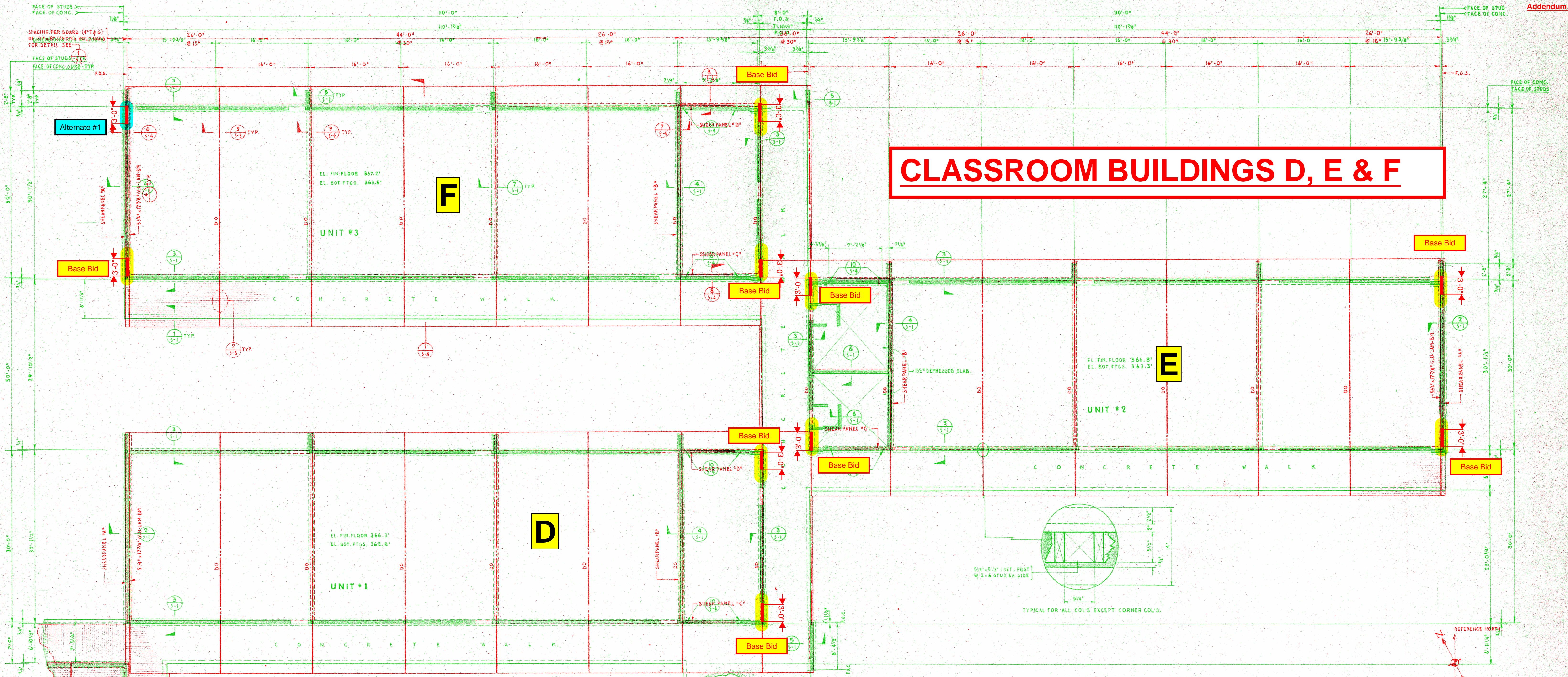
## Repair Plan

Engineer's Recommendations:

- 1= Repair cosmetic damage and repaint beam
- 2= Damage at exterior beam, remove wall finish to determine full scope of repairs
- 3= Replace beam



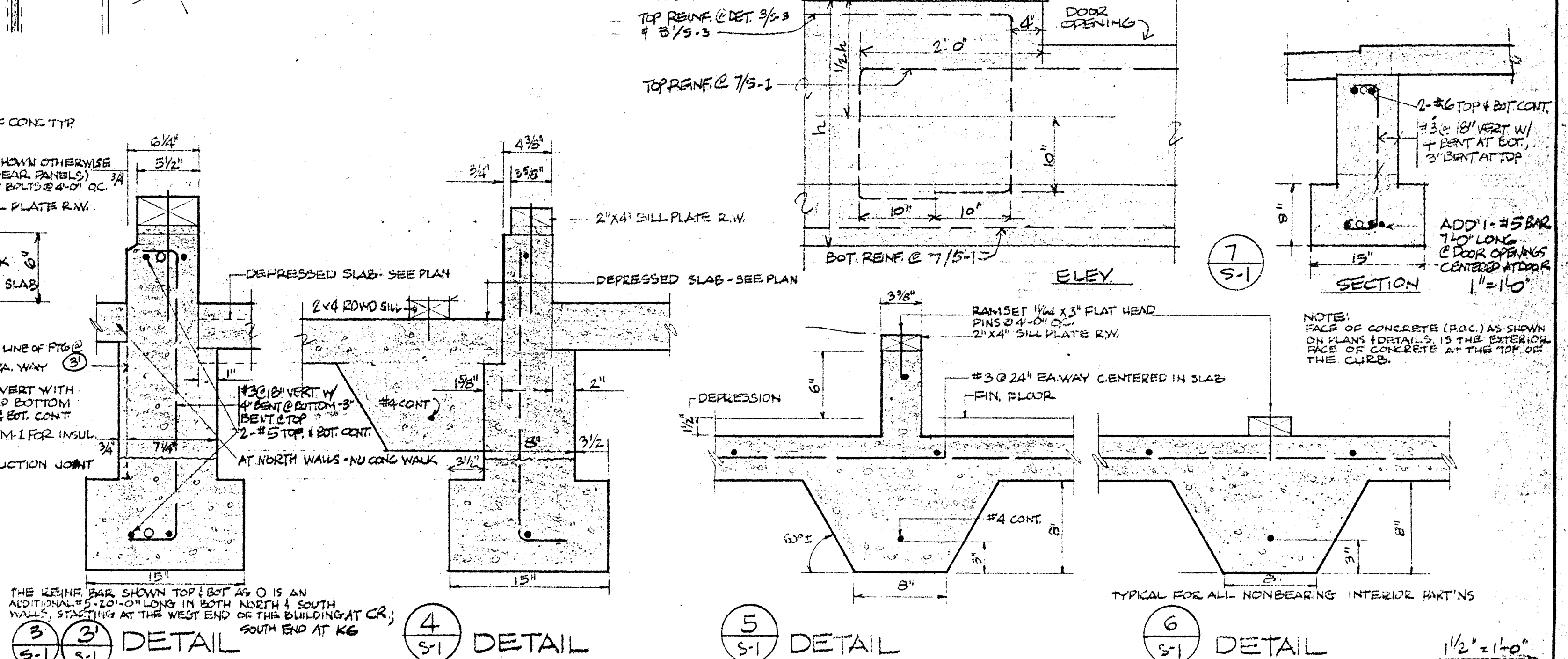
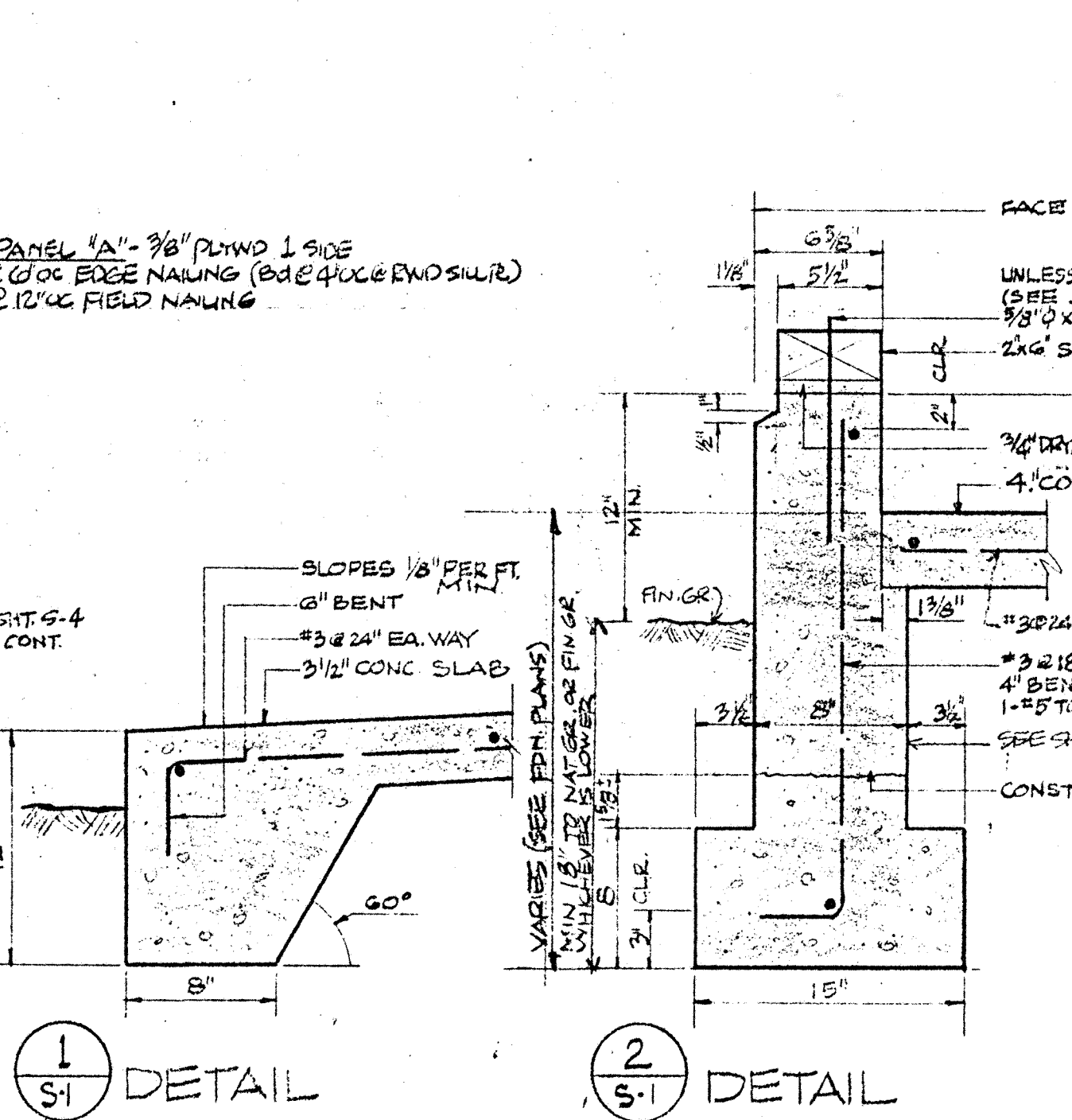
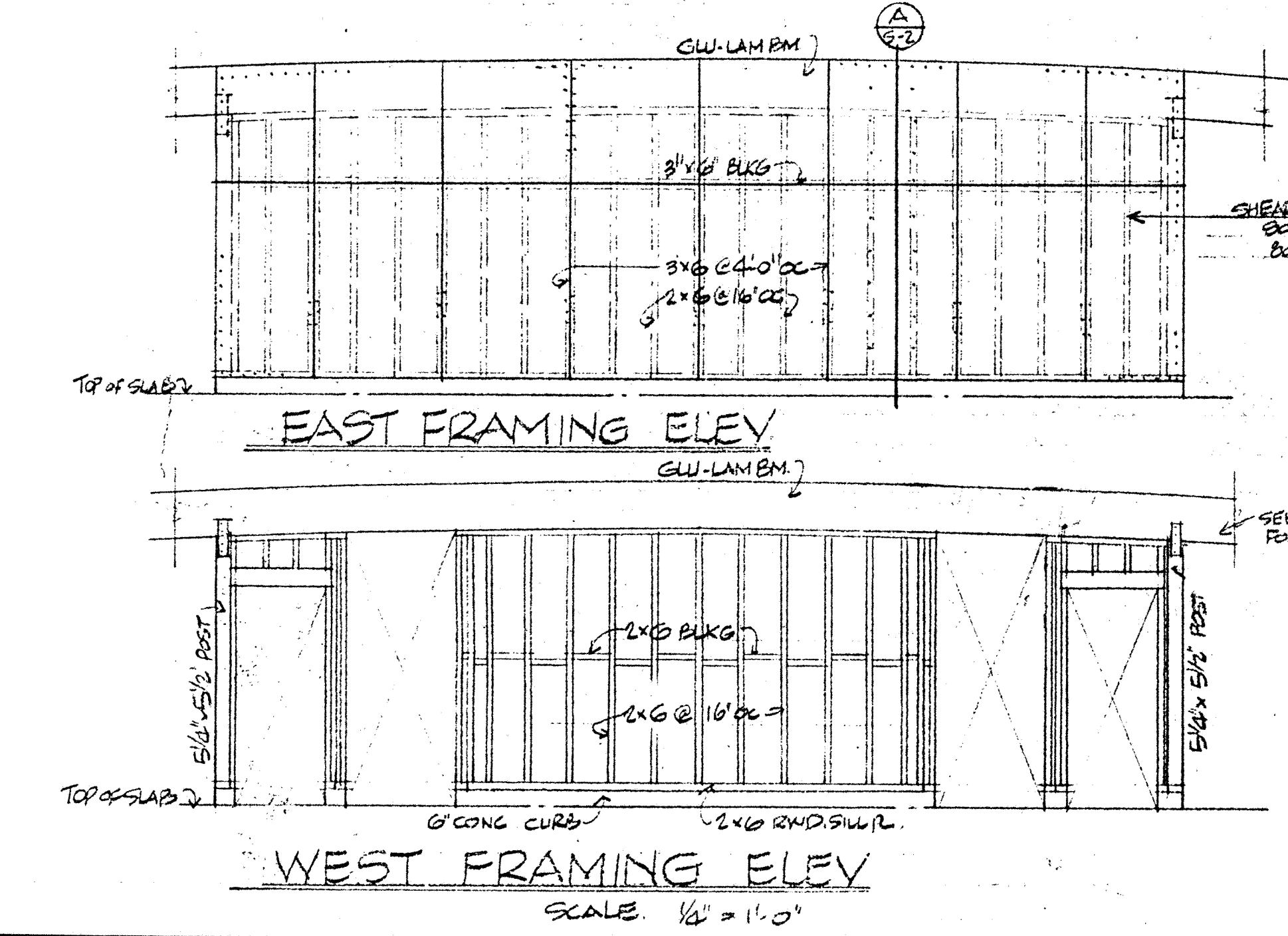
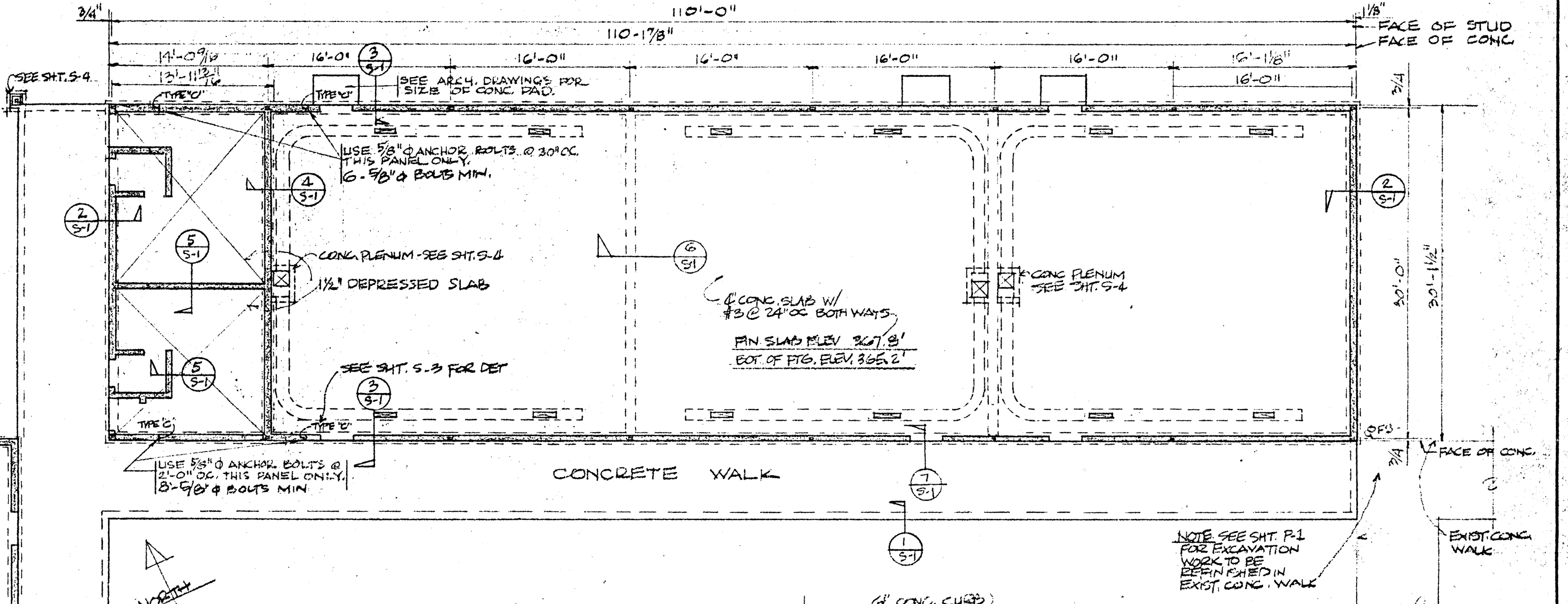
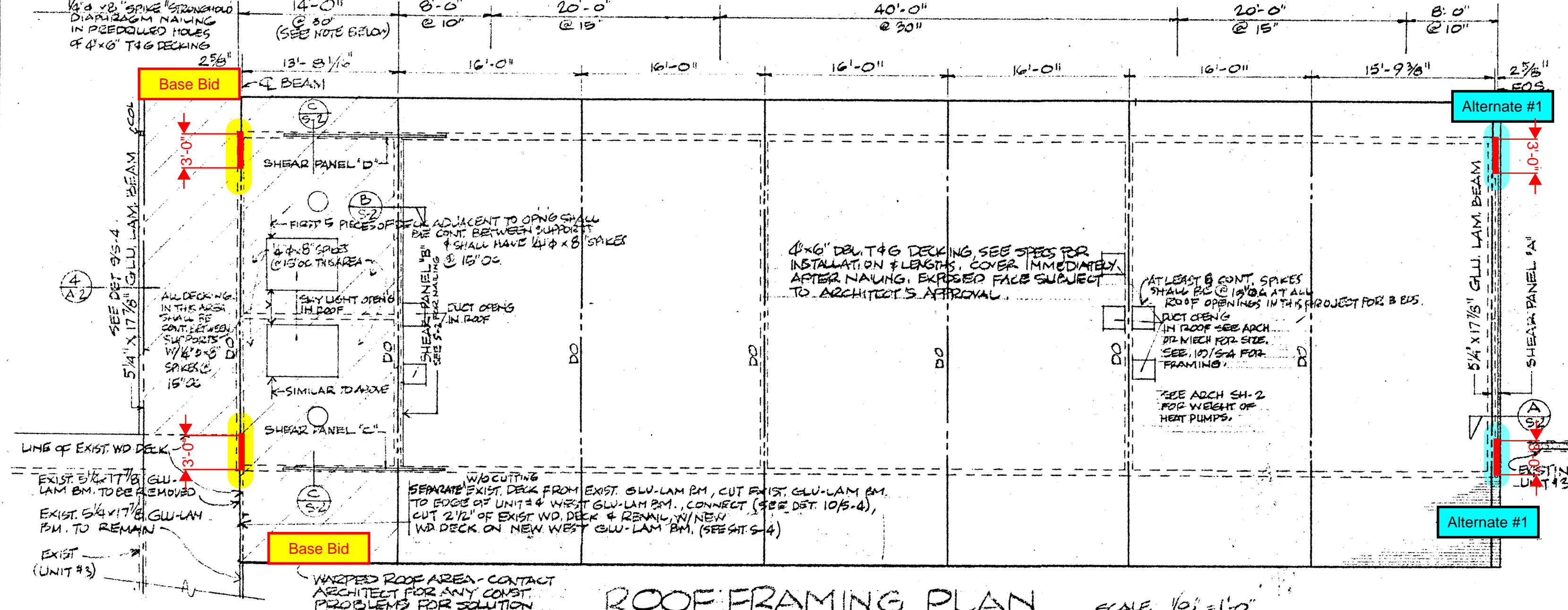
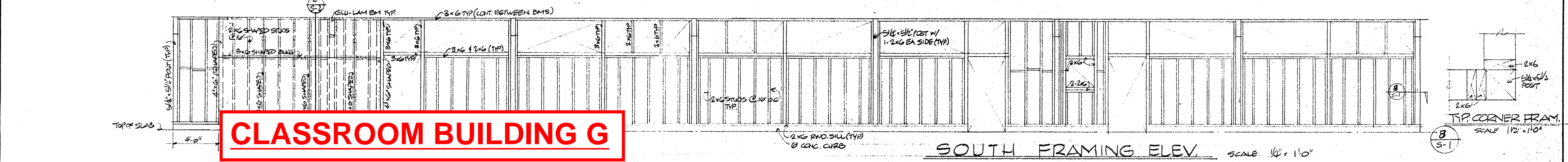
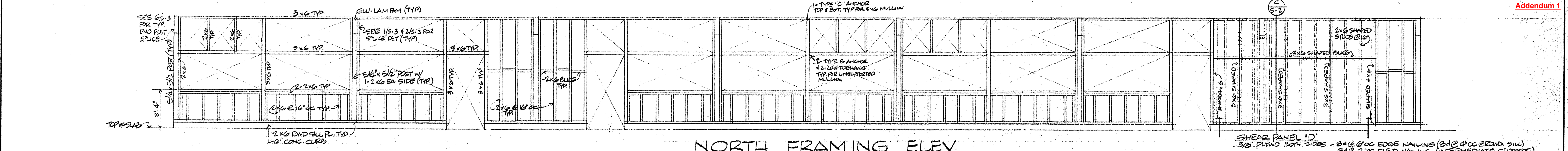
# CLASSROOM BUILDINGS D, E & F



<p>APPROVED:</p> <p>APPROVED:</p>	<p>VERIFY ALL DIMENSIONS, MEASUREMENTS AND DATA AT THE BUILDING SITE. REPORT ANY ERRORS, DISCREPANCIES OR QUESTIONS TO THE OFFICE OF THE ARCHITECT. THESE PLANS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE PREPARED FOR CONTRACT CONSTRUCTION WORK AND SHALL BE USED ONLY UNDER SPECIFIC AGREEMENT WITH THE ARCHITECT.</p>	<p>OWNER: <b>BUELLTON UNION SCHOOL DISTRICT</b> POST OFFICE BOX 5 BUELLTON, CALIFORNIA TELEPHONE SANTA YNEZ 3292</p>	<p>DONALD F. SHUGART STRUCTURAL ENGINEER STUDIO CITY &amp; PRESIDIO, SANTA BARBARA, CALIFORNIA DONALD F. SHUGART</p>	<p><b>JOHN BADGLEY A.I.A. ARCHITECT</b> 1101 MARSH STREET SAN LUIS OBISPO, CALIFORNIA TELEPHONE: LIBERTY 3-6221 (DDD-805)</p>	<p>SHEET TITLE: <b>CLASSROOM BUILDINGS - FLOOR &amp; FOUNDATION PLAN FOUNDATION DETAILS</b></p> <p>JOB TITLE: <b>Buellton Elementary School</b></p>	<p>JOB NO. <b>5817</b></p> <p>DRAWN BY</p> <p>CHECKED BY</p> <p>DATE</p> <p>SHEET <b>S-3</b></p> <p>OF 66 SHEETS</p>
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# CLASSROOM BUILDING G



APPROVED: *[Signature]*

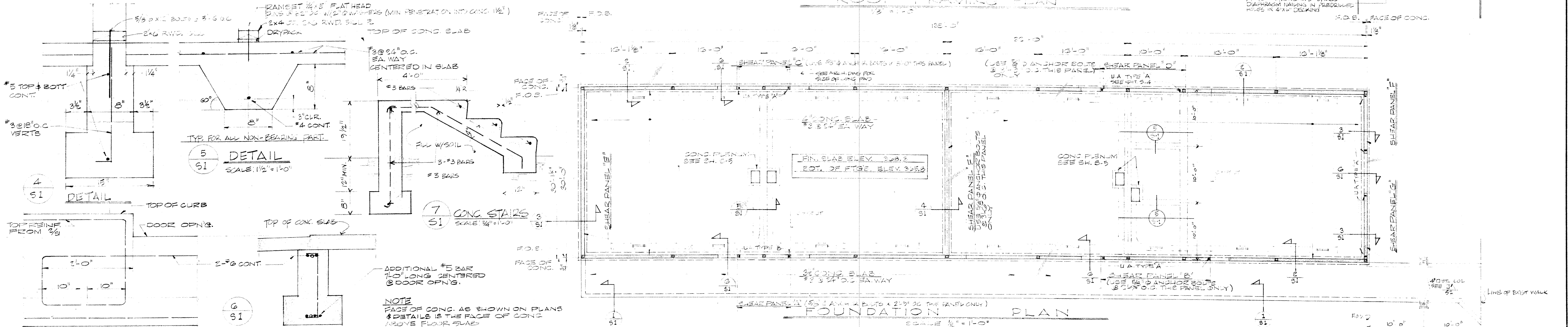
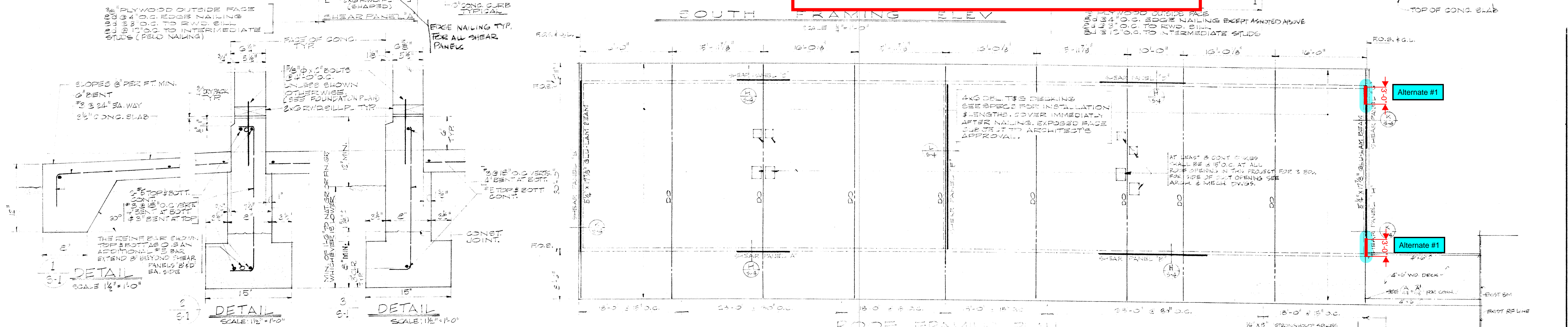
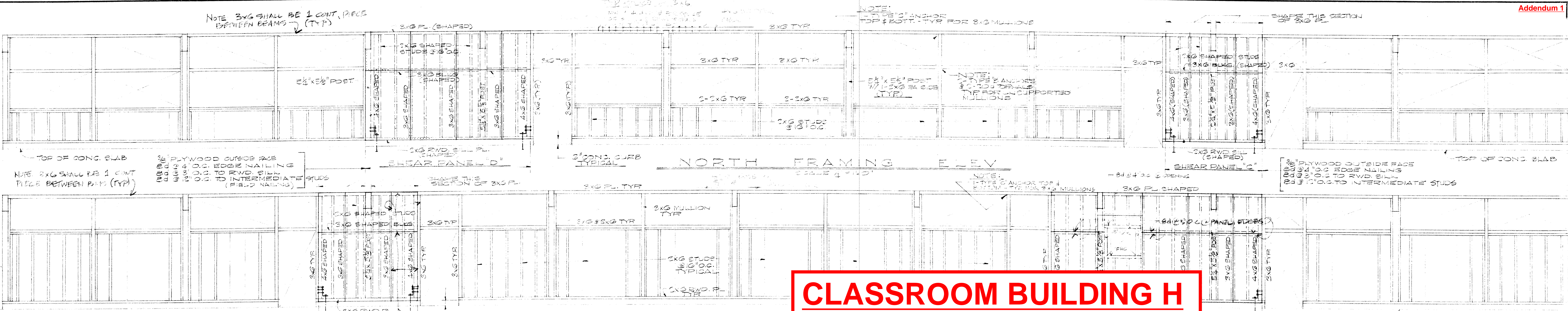
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OWNER: **BUELLTON UNION SCHOOL DISTRICT**  
 POST OFFICE BOX 5  
 BUELLTON, CALIFORNIA  
 TELEPHONE SANTA YNEZ 3392

**JOHN BADGLEY A.I.A. ARCHITECT**  
*[Signature]*  
 1101 MARSH STREET  
 SAN LUIS OBISPO, CALIFORNIA  
 TELEPHONE LIBERTY 3-6221 (DDD-805)

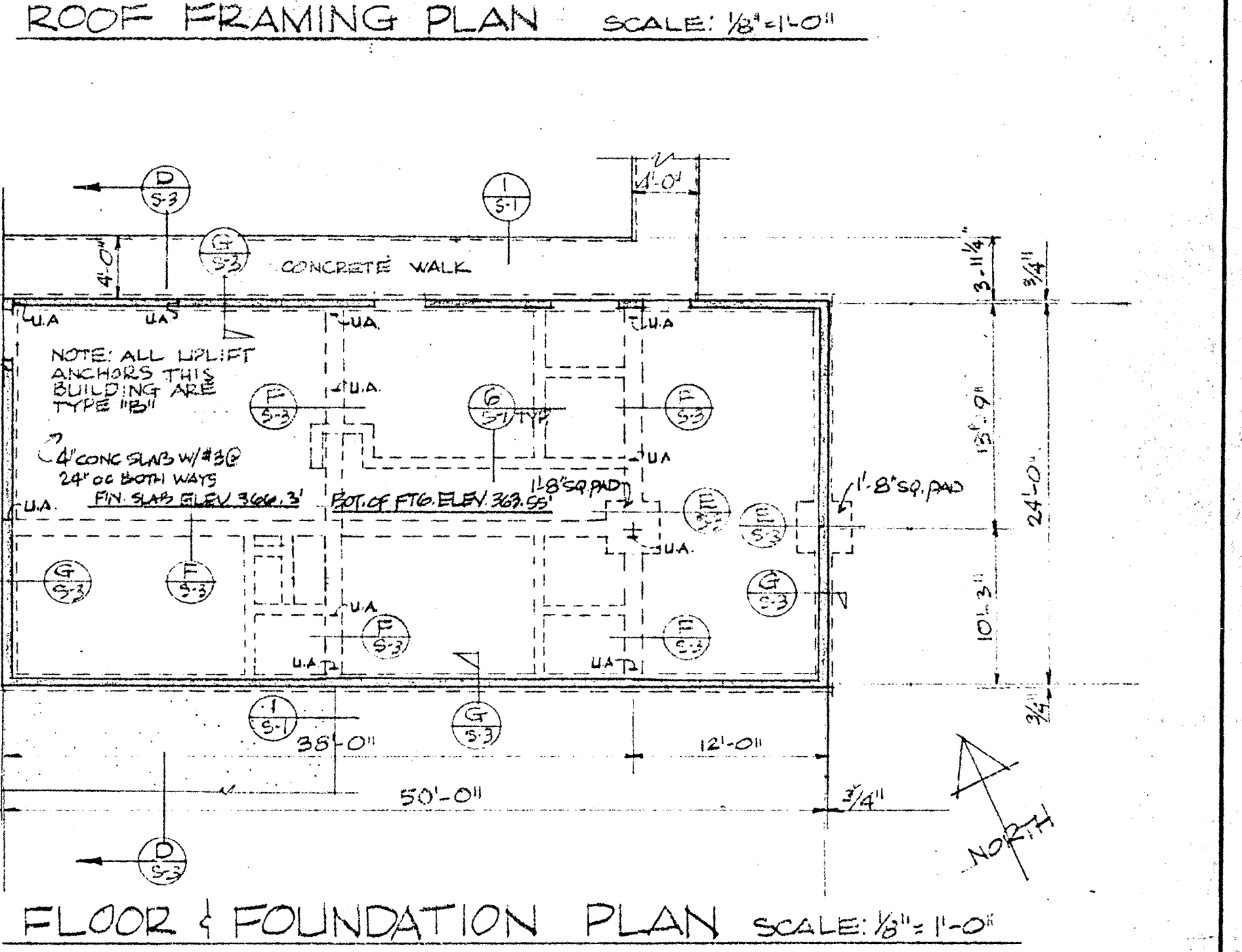
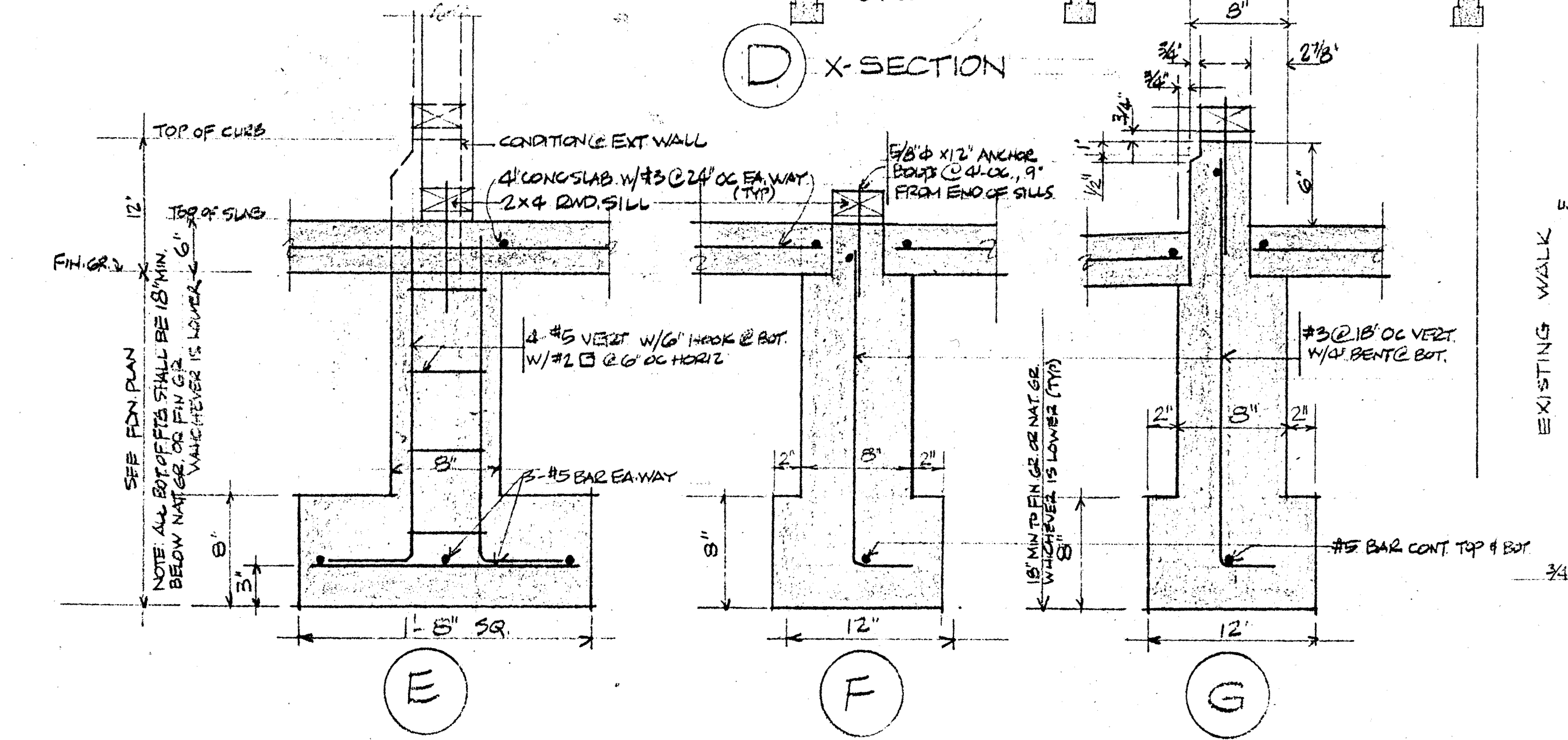
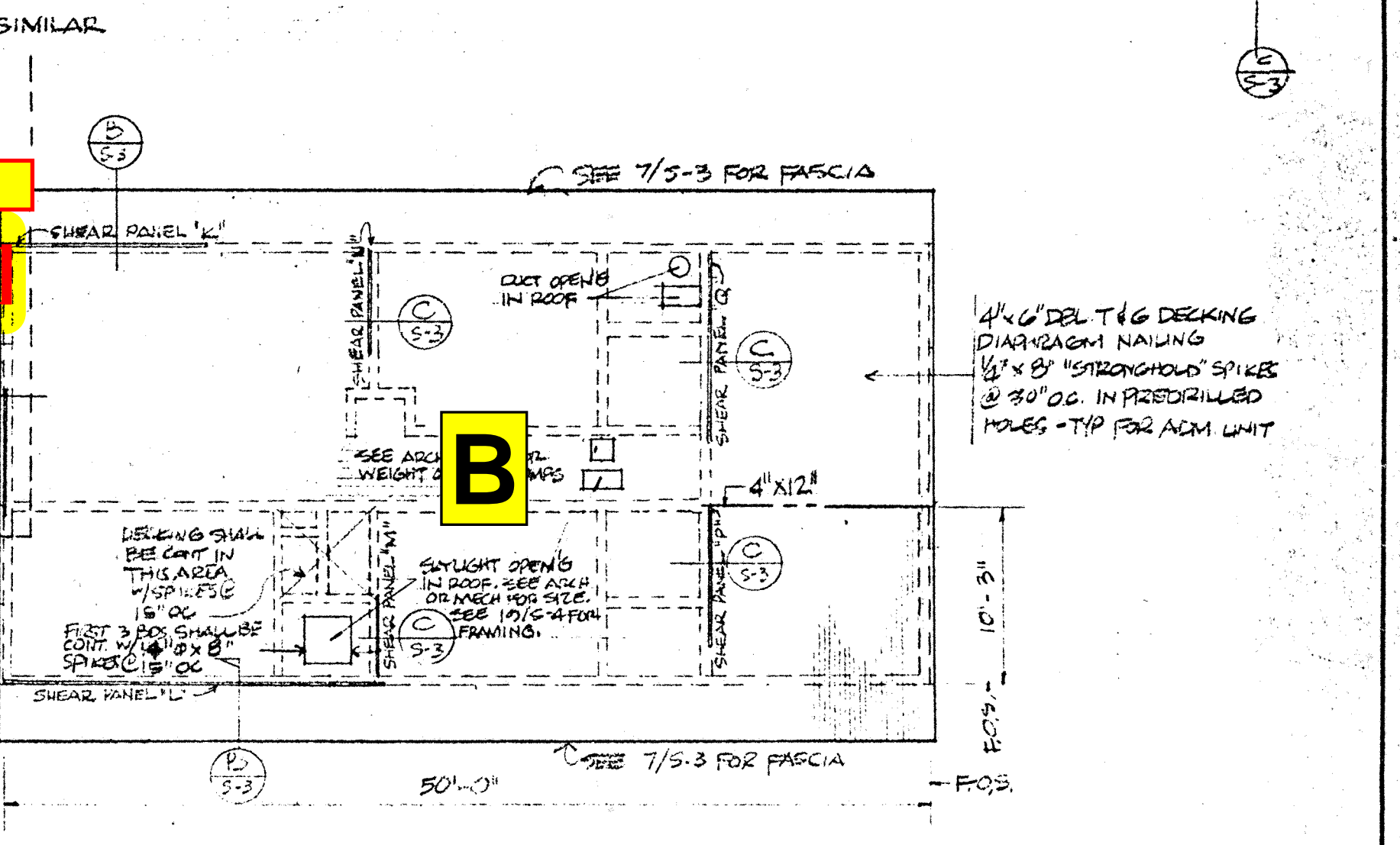
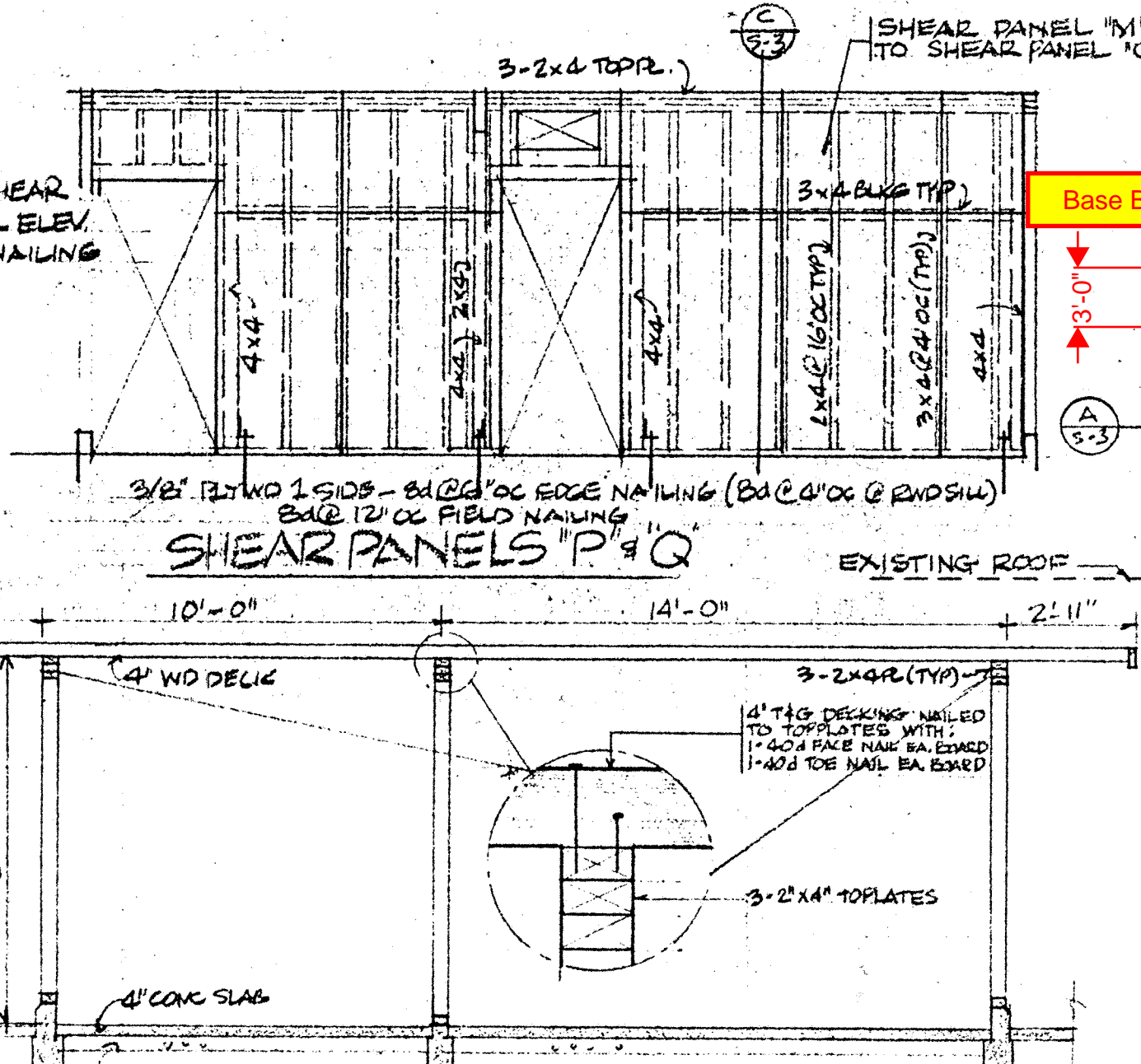
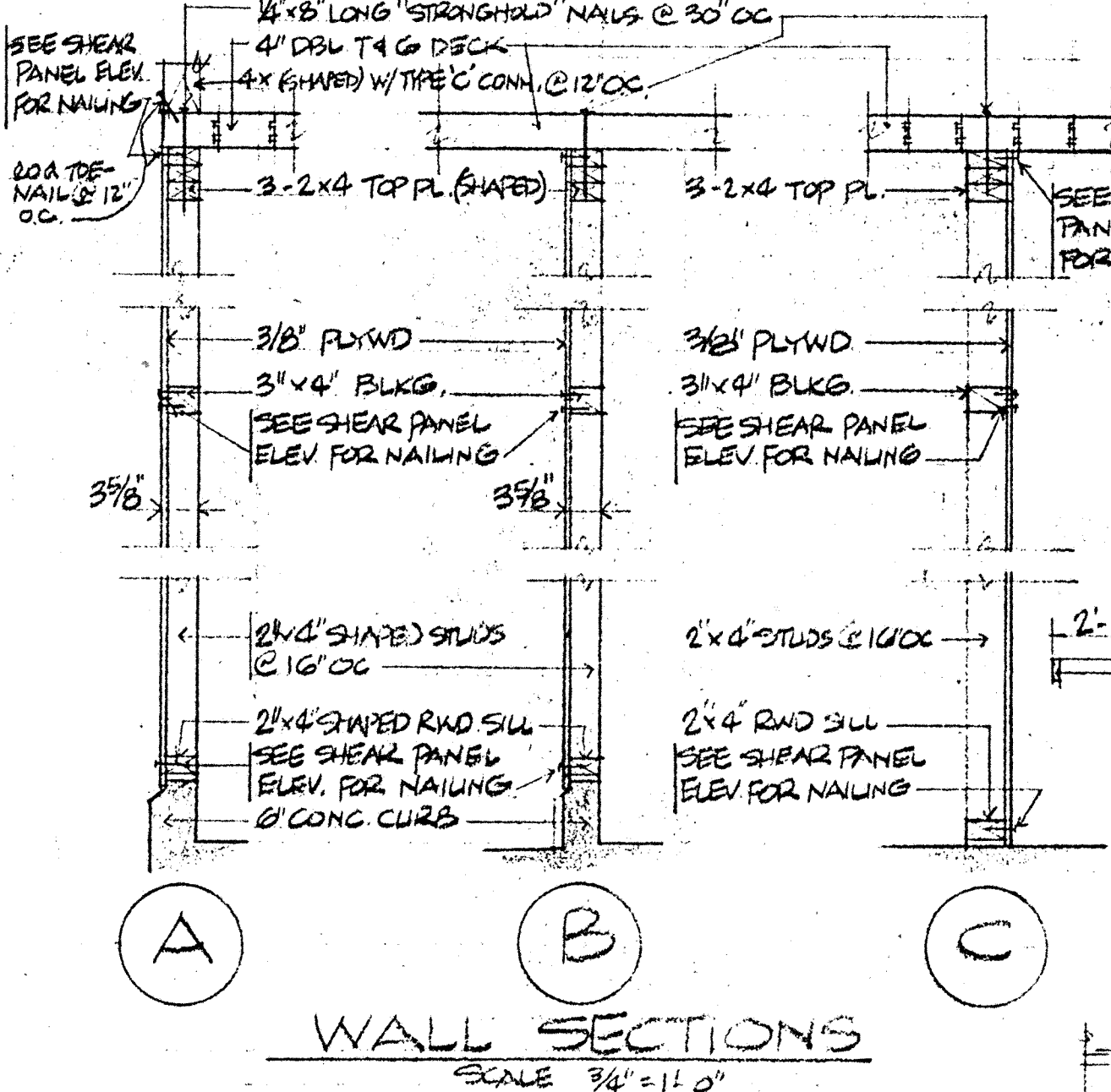
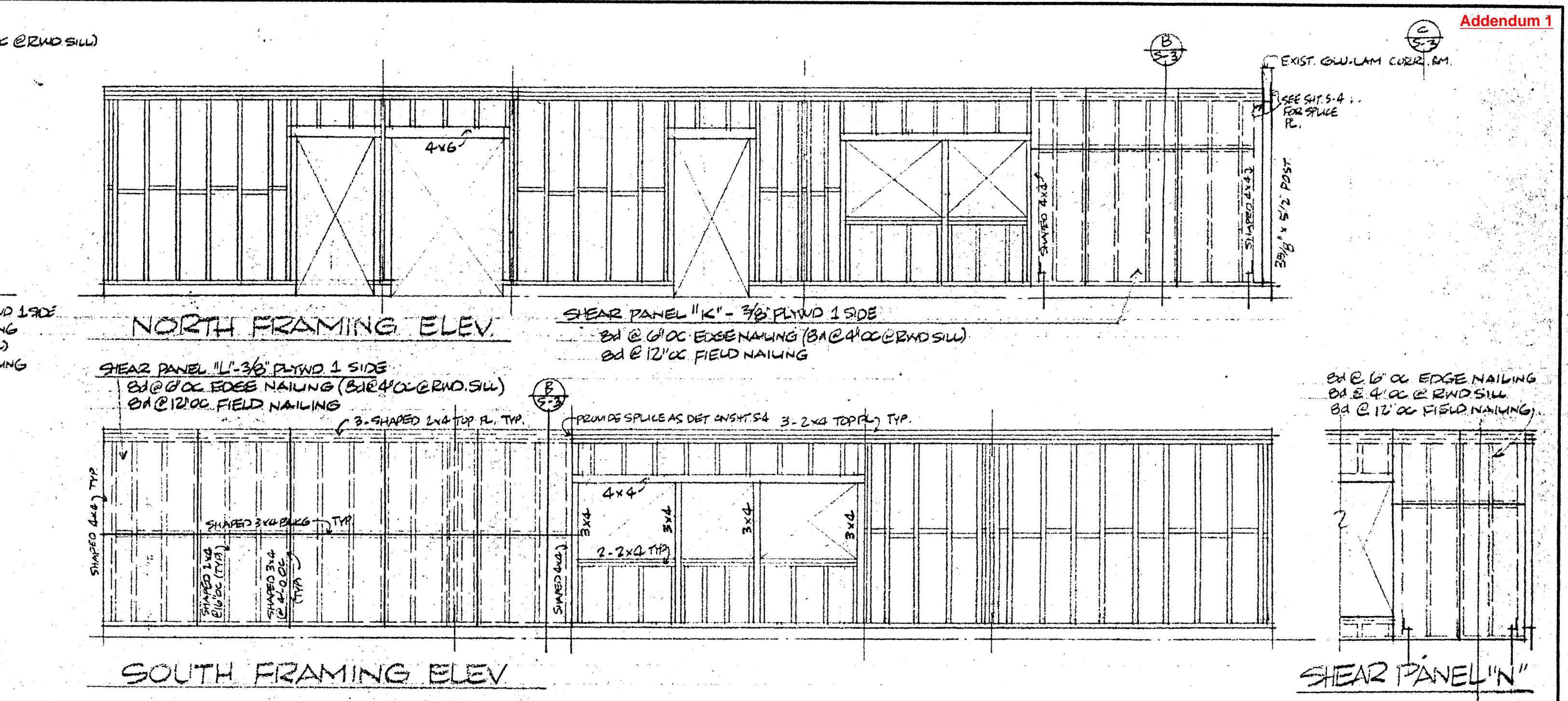
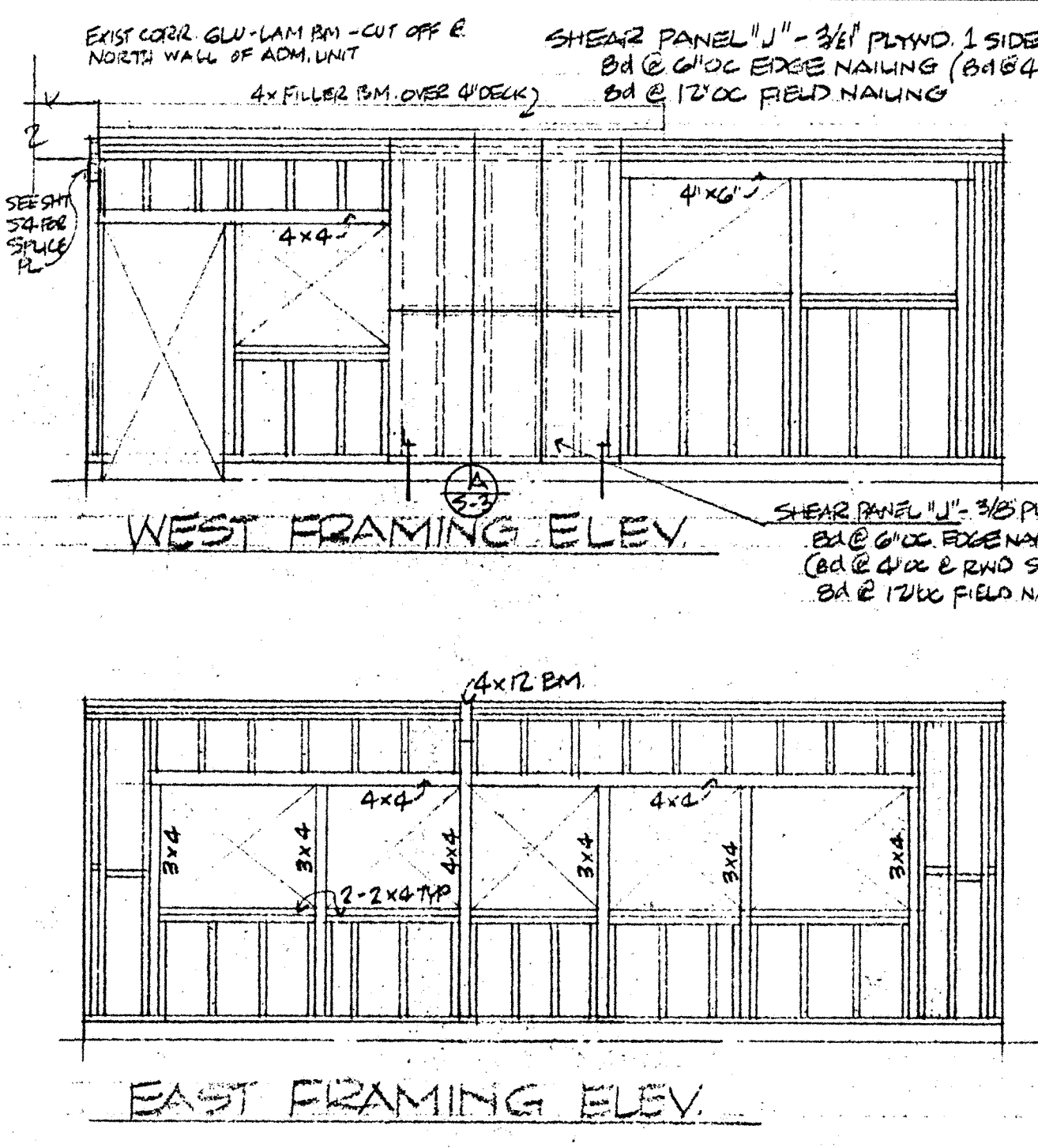
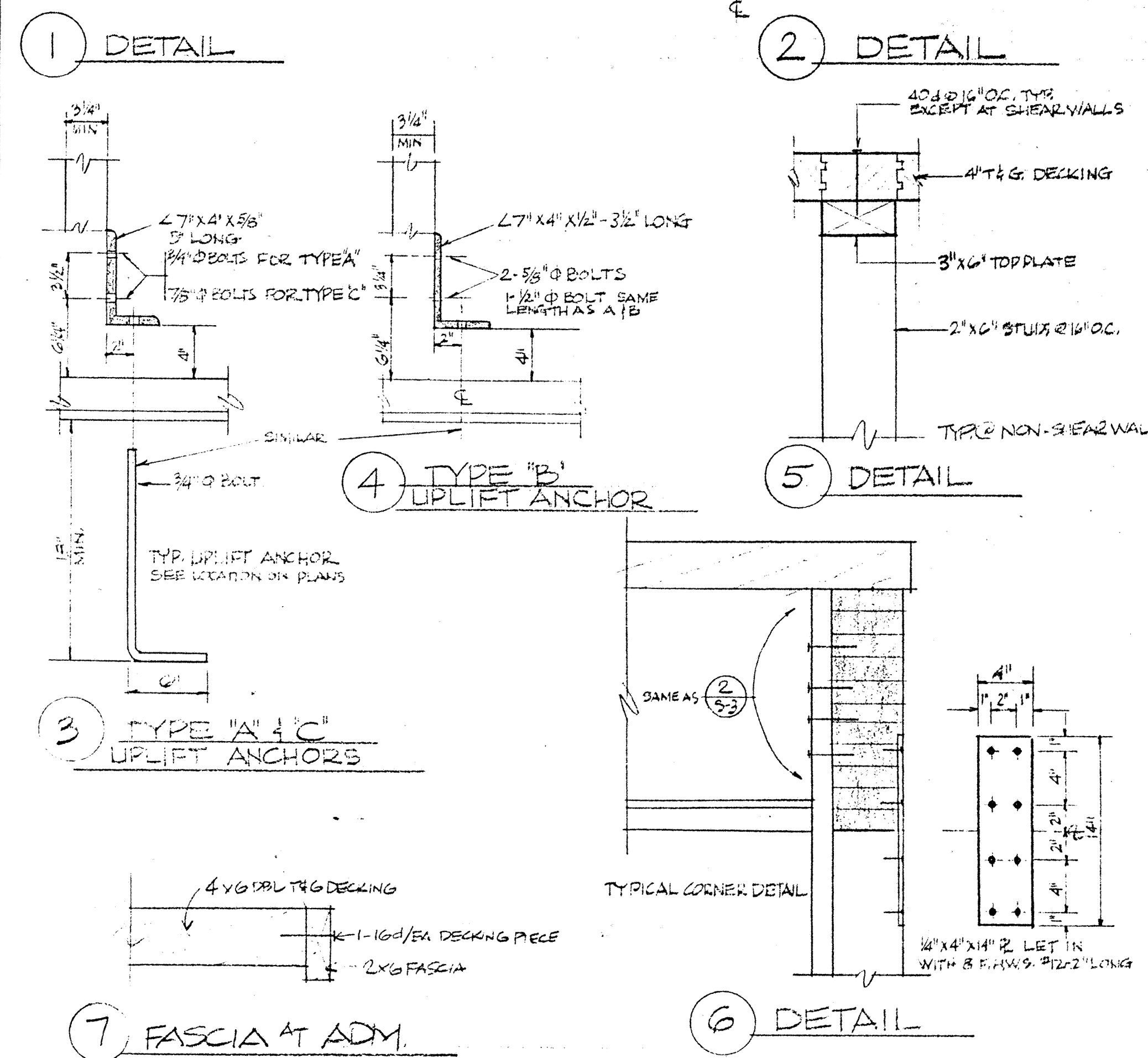
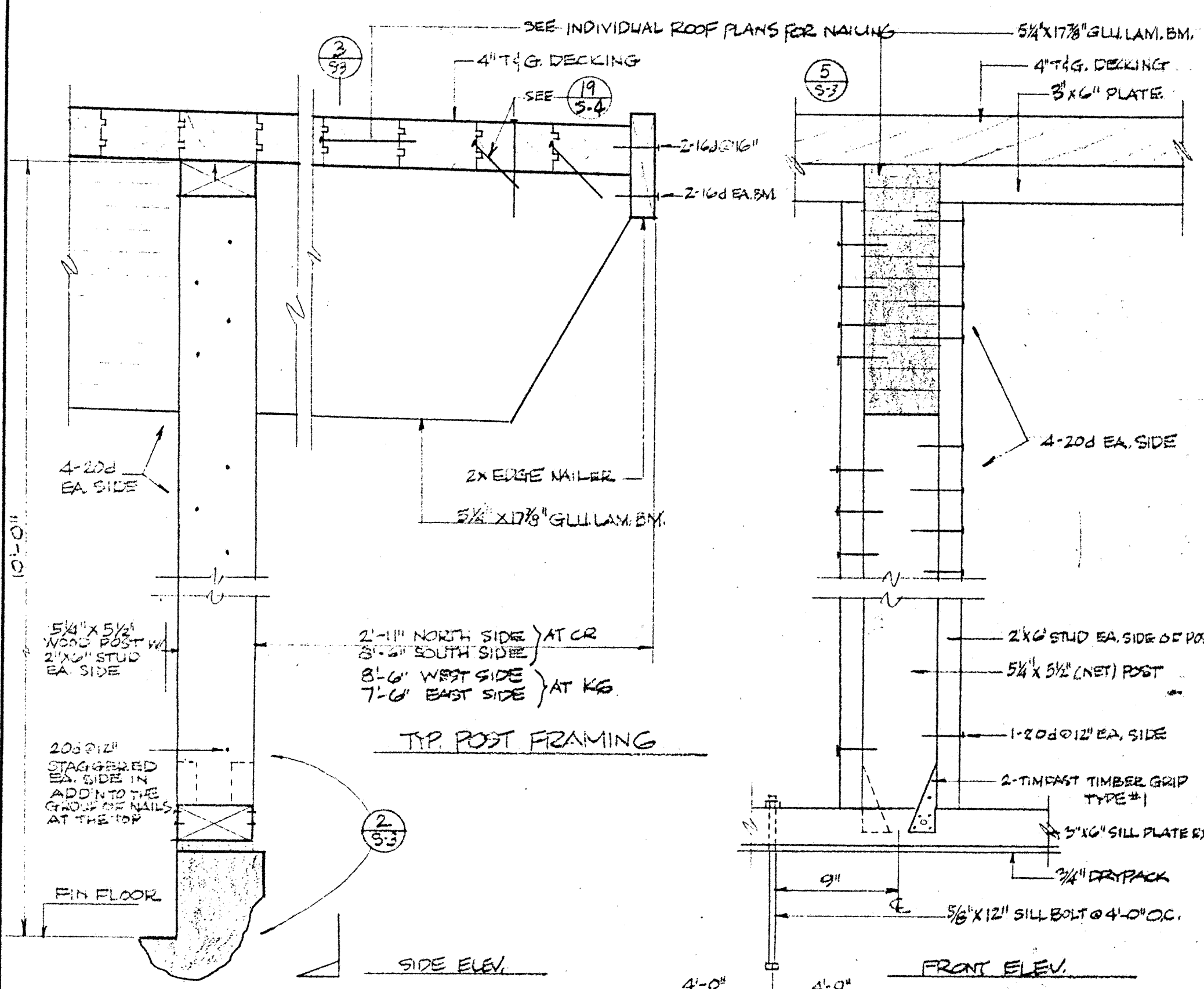
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 JOB NO. 6017  
 JOB TITLE: **TONATA ELEMENTARY SCHOOL ADDITIONS**  
 DATE: 11/14/11  
 SHEET **S1** OF 4 SHEETS





<p>APPROVED:</p>	<p>VERIFY ALL DIMENSIONS, MEASUREMENTS AND DATA AT THE BUILDING SITE. REPORT ANY ERRORS, DISCREPANCIES OR QUESTIONS TO THE OFFICE OF THE ARCHITECT. THESE PLANS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE PREPARED FOR CONTRACT CONSTRUCTION WORK AND SHALL BE USED ONLY UNDER SPECIFIC AGREEMENT WITH THE ARCHITECT.</p>	<p>OWNER:  <b>BUELLTON UNION SCHOOL DISTRICT</b>          POST OFFICE BOX 5          BUELLTON, CALIFORNIA          TELEPHONE SANTA YNEZ 3292          FEDERAL PROJECT NO. CALIF 63-C-010-A13</p>	<p><b>JOHN BADGLEY A.I.A. ARCHITECT</b>          1101 MARSH STREET          SAN LUIS OBISPO, CALIFORNIA          TELEPHONE: Liberty 3-6221 (DDD-805)</p>	<p>SHEET TITLE:  <b>CLASSROOM UNIT</b></p> <p>JOB TITLE:  <b>IONATA ELEMENTARY SCHOOL ADDITIONS - 2</b></p>	<p>JOB NO. 6217          DRAWN BY JE          CHECKED BY G1          DATE 12/13</p> <p>SHEET  <b>S-1</b>          OF 5 SHEETS</p>
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APPROVED:   
 [Signature]

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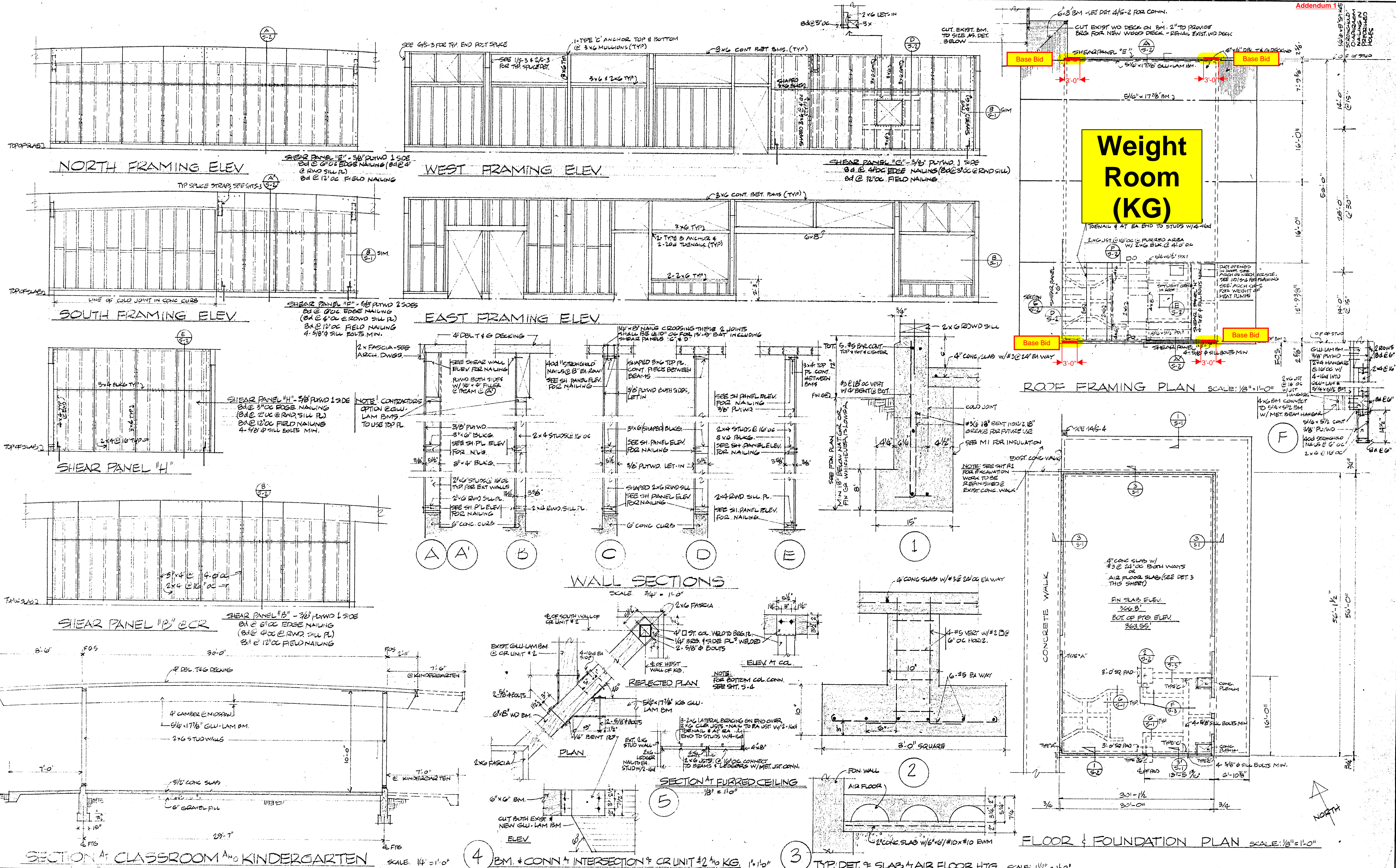
OWNER:   
 BUELLTON UNION SCHOOL DISTRICT   
 POST OFFICE BOX 5   
 BUELLTON, CALIFORNIA   
 TELEPHONE SANTA YNEZ 3292

JOHN BADGLEY A.I.A. ARCHITECT   
 1101 MARSH STREET   
 SAN LUIS OBISPO, CALIFORNIA   
 TELEPHONE: Liberty 3-6221 (DDD-805)

SHEET TITLE: ADMINISTRATION-FOUNDATION & ROOF PLAN, FRAMING ELEV. & DETAILS   
 JOB TITLE: MONATA ELEMENTARY SCHOOL ADDITION

JOB NO. 6017   
 SHEET S3   
 DRAWN BY   
 CHECKED BY   
 DATE 10/18/01   
 OF 4 SHEETS





**Weight Room (KG)**

APPROVED:  
  
 T. Maguire

VERIFY ALL DIMENSIONS, MEASUREMENTS AND DATA AT THE BUILDING SITE. REPORT ANY ERRORS, DISCREPANCIES OR QUESTIONS TO THE OFFICE OF THE ARCHITECT. THESE PLANS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE PREPARED FOR CONTRACT CONSTRUCTION WORK AND SHALL BE USED ONLY UNDER SPECIFIC AGREEMENT WITH THE ARCHITECT.

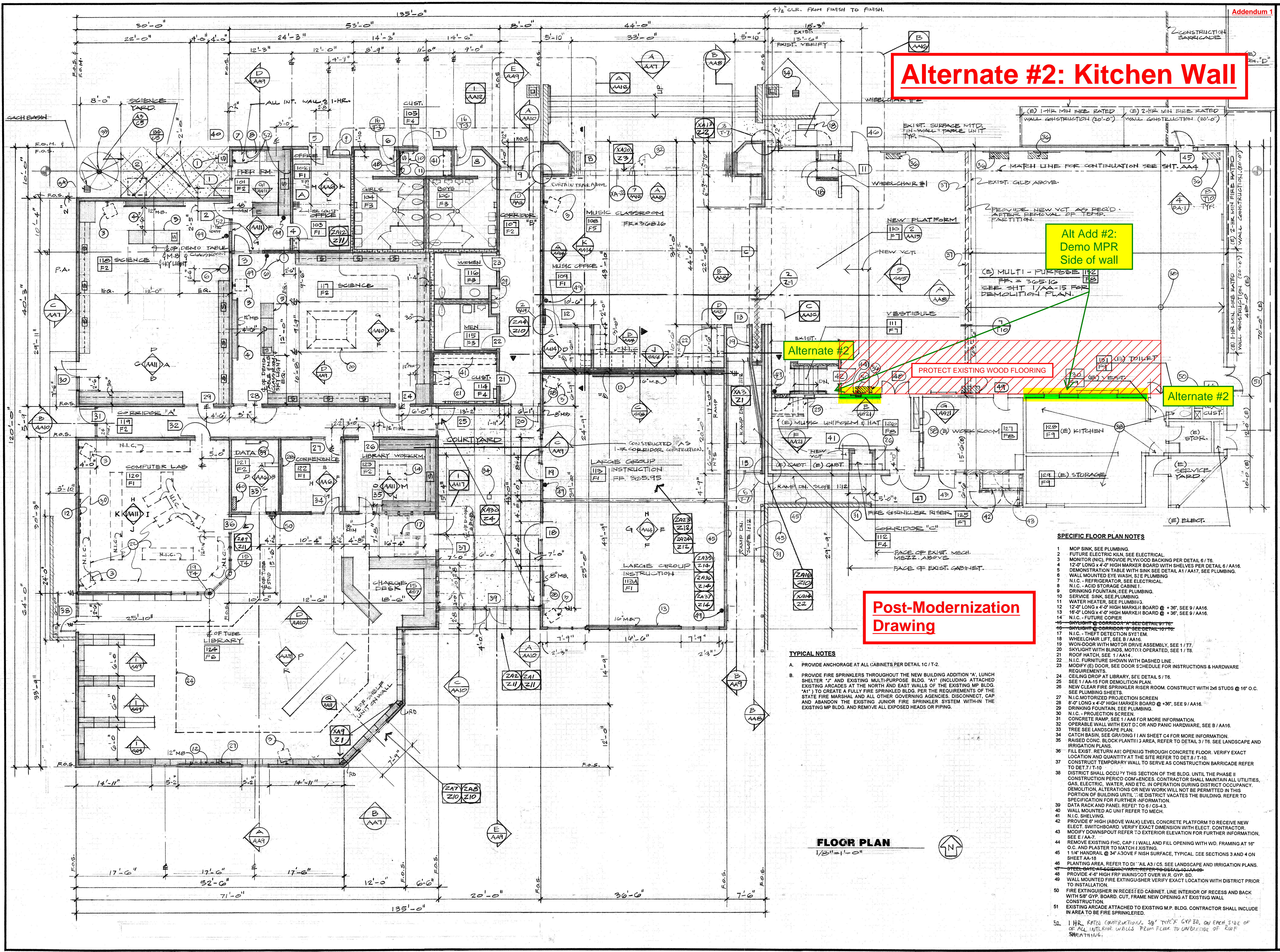
OWNER:  
**BUELLTON UNION SCHOOL DISTRICT**  
 POST OFFICE BOX 5  
 BUELLTON, CALIFORNIA  
 TELEPHONE SANTA YNEZ 3292

**JOHN BADGLEY A.I.A. ARCHITECT**  
  
 JOHN BADGLEY  
 1101 MARSH STREET  
 SAN LUIS OBISPO, CALIFORNIA  
 TELEPHONE: LIBERTY 3-6221 (DDD-805)  
 C-1413

SHEET TITLE: **KINDERGARTEN-FOUNDATION & ROOF PLAN, FRAMING ELEV. & DETAILS**  
 JOB TITLE:  
**TONATA ELEMENTARY SCHOOL ADDITIONS**

JOB NO. 6017  
 SHEET  
**S2**  
 DRAWN BY  
 CHECKED BY  
 DATE: 9/1/11  
 OF 4 SHEETS





**Alternate #2: Kitchen Wall**

**Alt Add #2: Demo MPR Side of wall**

**Post-Modernization Drawing**

**TYPICAL NOTES**

- A. PROVIDE ANCHORAGE AT ALL CABINETS PER DETAIL 1C/1-2.
- B. PROVIDE FIRE SPRINKLERS THROUGHOUT THE NEW BUILDING ADDITION 'A', LUNCH SHELTER 'J' AND EXISTING MULTI-PURPOSE BLDG. 'A1' (INCLUDING ATTACHED EXISTING ARCADES AT THE NORTH AND EAST WALLS OF THE EXISTING MP BLDG. 'A1') TO CREATE A FULLY FIRE SPRINKLED BLDG. PER THE REQUIREMENTS OF THE STATE FIRE MARSHAL AND ALL OTHER GOVERNING AGENCIES. DISCONNECT, CAP AND ABANDON THE EXISTING JUNIOR FIRE SPRINKLER SYSTEM WITHIN THE EXISTING MP BLDG. AND REMOVE ALL EXPOSED HEADS OR PIPING.

**FLOOR PLAN**

1/8" = 1'-0"

**SPECIFIC FLOOR PLAN NOTES**

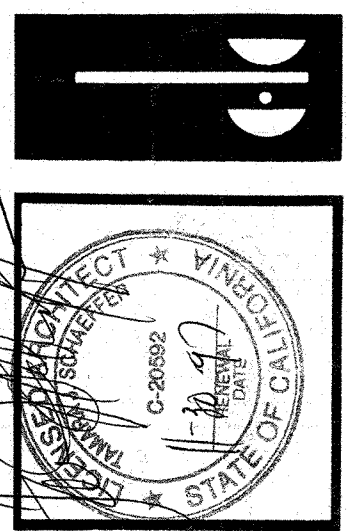
- 1 MOP SINK, SEE PLUMBING.
- 2 FUTURE ELECTRIC KILN, SEE ELECTRICAL.
- 3 MONITOR (NIC), PROVIDE PLYWOOD BACKING PER DETAIL 6/1/76.
- 4 12'-0" LONG X 4'-0" HIGH MARKER BOARD WITH SHELVES PER DETAIL 6/AA16.
- 5 DEMONSTRATION TABLE WITH SINK SEE DETAIL A1/AA17, SEE PLUMBING.
- 6 WALL MOUNTED EYE WASH, SEE PLUMBING.
- 7 N.I.C. - REFRIGERATOR, SEE ELECTRICAL.
- 8 N.I.C. - ACID STORAGE CABINET.
- 9 DRINKING FOUNTAIN, SEE PLUMBING.
- 10 SERVICE SINK, SEE PLUMBING.
- 11 WATER HEATER, SEE PLUMBING.
- 12 12'-0" LONG X 4'-0" HIGH MARKER BOARD @ +30', SEE 9/AA16.
- 13 16'-0" LONG X 4'-0" HIGH MARKER BOARD @ +30', SEE 9/AA16.
- 14 N.I.C. - FUTURE COPIER.
- 15 SKYLIGHT @ CORRIDOR 'A' SEE DETAIL 17/10.
- 16 SKYLIGHT @ CORRIDOR 'A' SEE DETAIL 17/10.
- 17 N.I.C. - THEFT DETECTION SYSTEM.
- 18 WHEELCHAIR LIFT, SEE B/AA16.
- 19 WINDOW WITH MOTOR DRIVE ASSEMBLY, SEE 1/77.
- 20 SKYLIGHT WITH BLINDS, MOTOR OPERATED, SEE 1/78.
- 21 ROOF HATCH, SEE 1/AA14.
- 22 N.I.C. FURNITURE SHOWN WITH DASHED LINE.
- 23 MODIFY (E) DOOR, SEE DOOR SCHEDULE FOR INSTRUCTIONS & HARDWARE REQUIREMENTS.
- 24 CEILING DROP AT LIBRARY, SEE DETAIL 5/76.
- 25 SEE 1/AA15 FOR DEMOLITION PLAN.
- 26 NEW CLEAR FIRE SPRINKLER RISER ROOM. CONSTRUCT WITH 2x6 STUDS @ 16" O.C. SEE PLUMBING SHEETS.
- 27 N.I.C. MOTORIZED PROJECTION SCREEN.
- 28 8'-0" LONG X 4'-0" HIGH MARKER BOARD @ +30', SEE 9/AA16.
- 29 DRINKING FOUNTAIN, SEE PLUMBING.
- 30 N.I.C. - PROJECTION SCREEN.
- 31 CONCRETE RAMP, SEE 1/AA6 FOR MORE INFORMATION.
- 32 OPERABLE WALL WITH EXIT D.O. OR AND PANIC HARDWARE, SEE B/AA16.
- 33 TREE SEE LANDSCAPE PLAN.
- 34 CATCH BASIN, SEE GRADING 1/AN SHEET C4 FOR MORE INFORMATION.
- 35 RAISED CONC. BLOCK PLANT III 3 AREA, REFER TO DETAIL 3/76. SEE LANDSCAPE AND IRRIGATION PLANS.
- 36 FILL EXIST. RETURN AIR OPENING THROUGH CONCRETE FLOOR. VERIFY EXACT LOCATION AND QUANTITY AT THE SITE REFER TO DET 8/11-10.
- 37 CONSTRUCT TEMPORARY WALL TO SERVE AS CONSTRUCTION BARRICADE REFER TO DET 7/11-10.
- 38 DISTRICT SHALL OCCUPY THIS SECTION OF THE BLDG. UNTIL THE PHASE II CONSTRUCTION PERIOD COMMENCES. CONTRACTOR SHALL MAINTAIN ALL UTILITIES, GAS, ELECTRIC, WATER, AND ETC. IN OPERATION DURING DISTRICT OCCUPANCY. DEMOLITION, ALTERATIONS OR NEW WORK WILL NOT BE PERMITTED IN THIS PORTION OF BUILDING UNTIL THE DISTRICT VACATES THE BUILDING. REFER TO SPECIFICATION FOR FURTHER INFORMATION.
- 39 DATA RACK AND PANEL, REFER TO 6/1/CS-43.
- 40 WALL MOUNTED AC UNIT REFER TO MECH.
- 41 N.I.C. SHELVING.
- 42 PROVIDE 6" HIGH (ABOVE WALK) LEVEL CONCRETE PLATFORM TO RECEIVE NEW ELECT. SWITCHBOARD. VERIFY EXACT DIMENSION WITH ELECT. CONTRACTOR.
- 43 MODIFY DOWNSPOUT REFER TO EXTERIOR ELEVATION FOR FURTHER INFORMATION, SEE E/AA-7.
- 44 REMOVE EXISTING FHC, CAP 1" WALL AND FILL OPENING WITH WD. FRAMING AT 16" O.C. AND PLASTER TO MATCH EXISTING.
- 45 1 1/4" HANDRAIL @ 34" ABOVE FINISH SURFACE, TYPICAL. SEE SECTIONS 3 AND 4 ON SHEET AA-18.
- 46 PLANTING AREA, REFER TO DI 1/AA3/CS. SEE LANDSCAPE AND IRRIGATION PLANS.
- 47 STEEL FRAME FURNITURE REFER TO DETAIL 10/AA-28.
- 48 PROVIDE 4'-0" HIGH FRP WAINSCOT OVER W.R. GYP. BD.
- 49 WALL MOUNTED FIRE EXTINGUISHER VERIFY EXACT LOCATION WITH DISTRICT PRIOR TO INSTALLATION.
- 50 FIRE EXTINGUISHER IN RECESS ED CABINET. LINE INTERIOR OF RECESS AND BACK WITH 5/8" GYP. BOARD, CUT, FRAME NEW OPENING AT EXISTING WALL CONSTRUCTION.
- 51 EXISTING ARCADE ATTACHED TO EXISTING M.P. BLDG. CONTRACTOR SHALL INCLUDE IN AREA TO BE FIRE SPRINKLED.
- 52 1 HR. RATED CONSTRUCTION, 3/8" TRUCK GYP. BD. ON EACH SIDE OF ALL INTERIOR WALLS FROM FLOOR TO UNDERSIDE OF ROOF SHEATHING.

**FLOOR PLAN**

**JONATA ELEMENTARY SCHOOL**  
 301 SECOND STREET • BULLION, CALIFORNIA 92041  
 BULLION UNION SCHOOL DISTRICT

**JOB NO. 8521-1**  
**DATE 6/13/97**  
**SHEET NUMBER AA-1**

**CHARMICHHELL-KEMP**  
 ARCHITECTS  
 2870 LOS FELIZ PLACE • LOS ANGELES • 866-7265

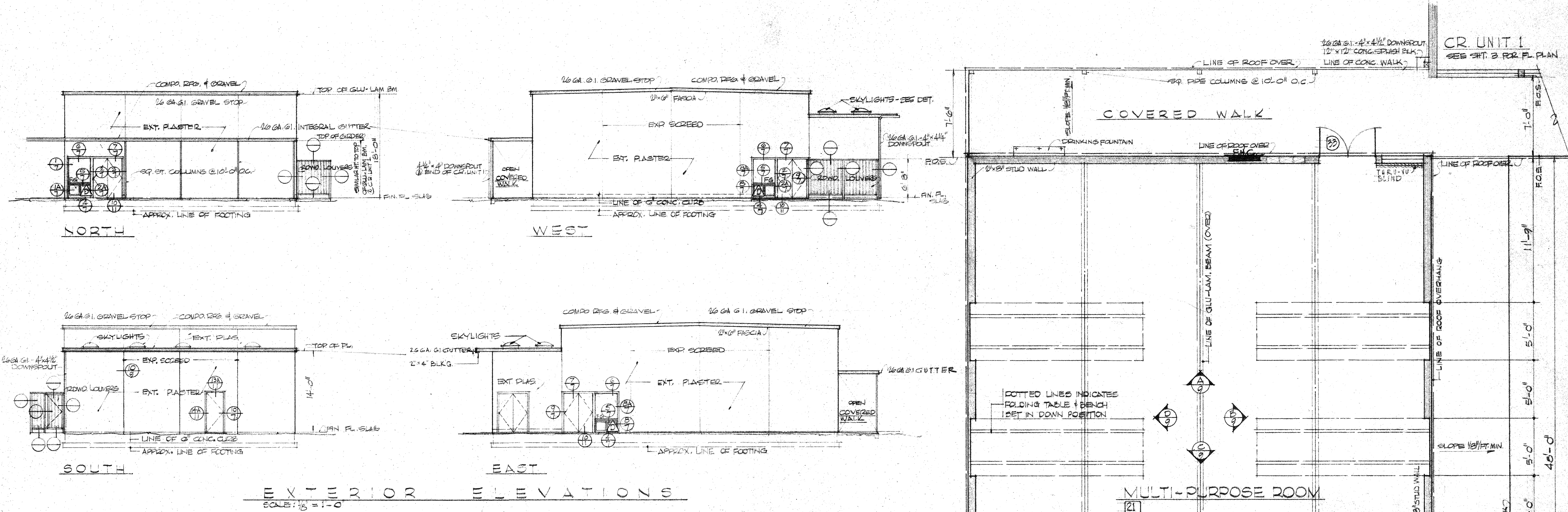


**RECORD DRAWING**  
 THESE RECORD DRAWINGS WERE PREPARED BY THE ARCHITECT OR HIS ASSOCIATES FOR THE ARCHITECT'S USE AND NOT FOR THE ARCHITECT'S INFORMATION AS PROVIDED.  
 DATE 8-21-97

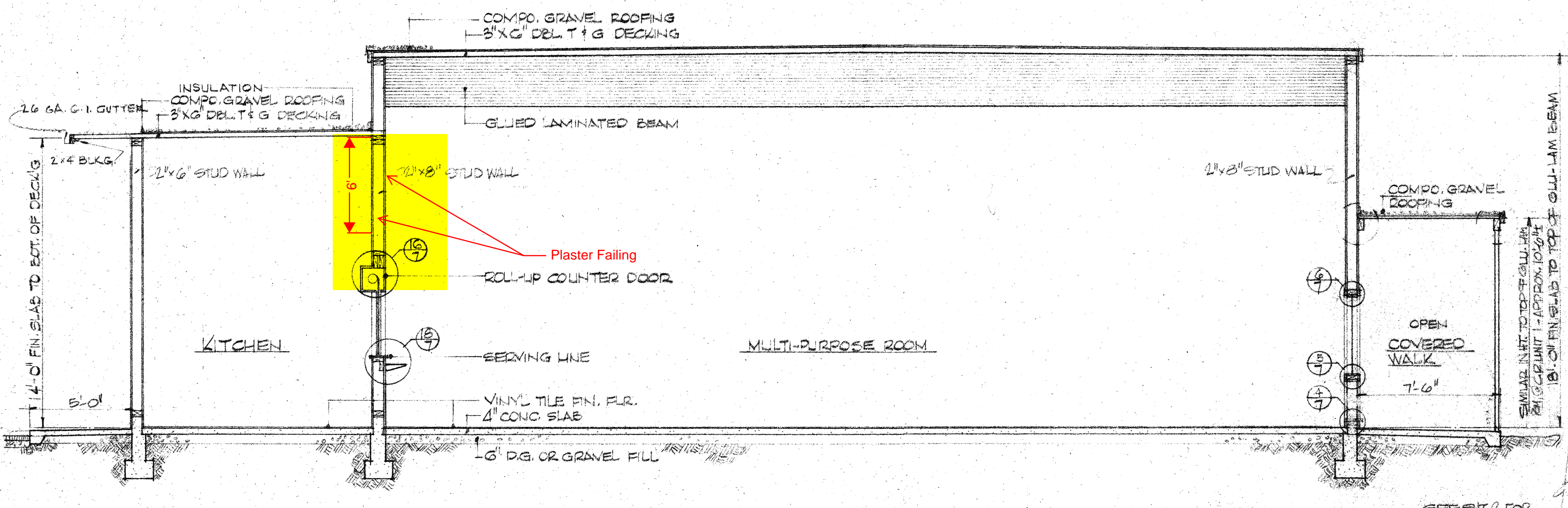




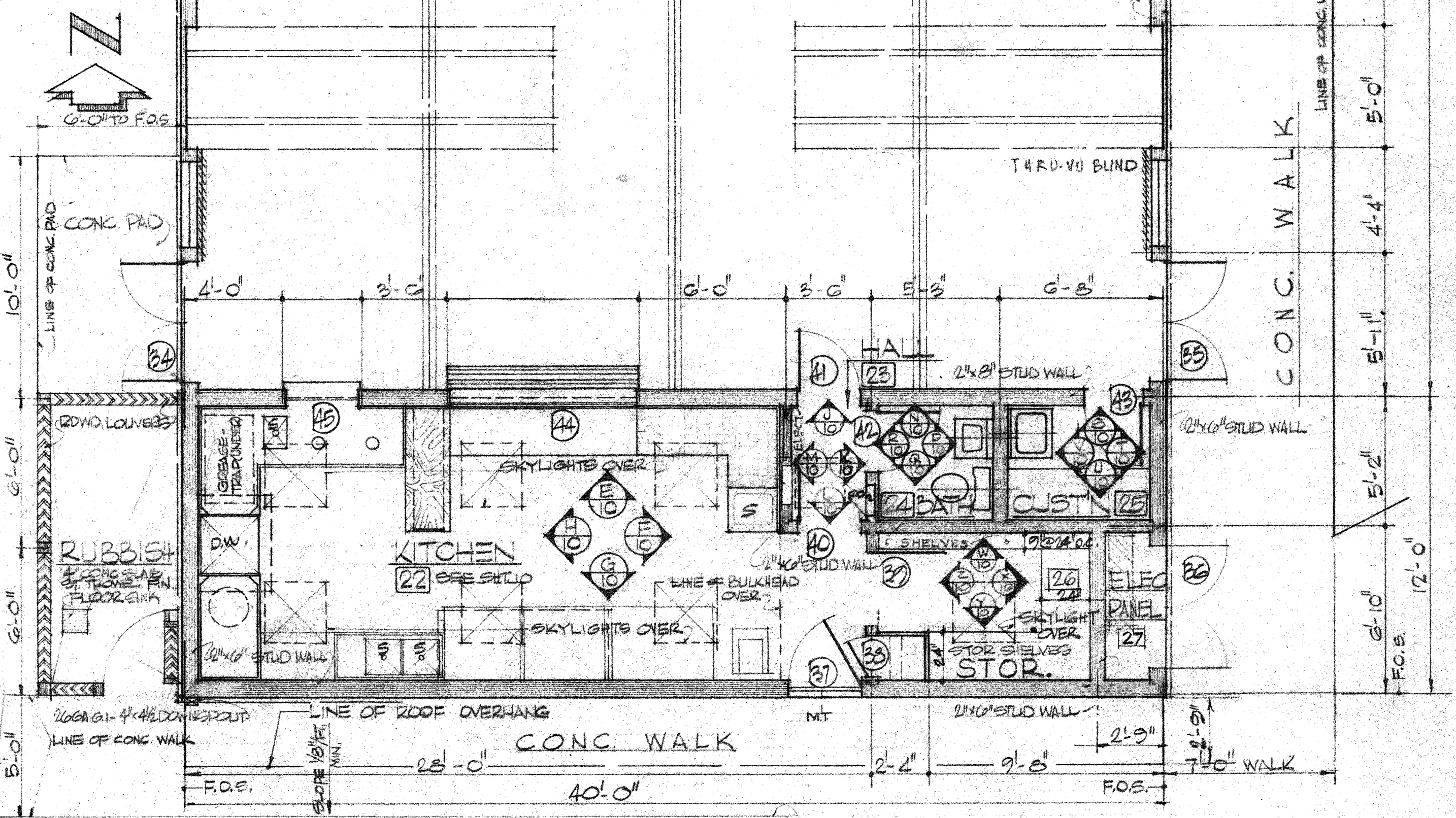




**Alternate #2: Kitchen Wall**



**Original Pre-Modernization Drawing (For Reference)**



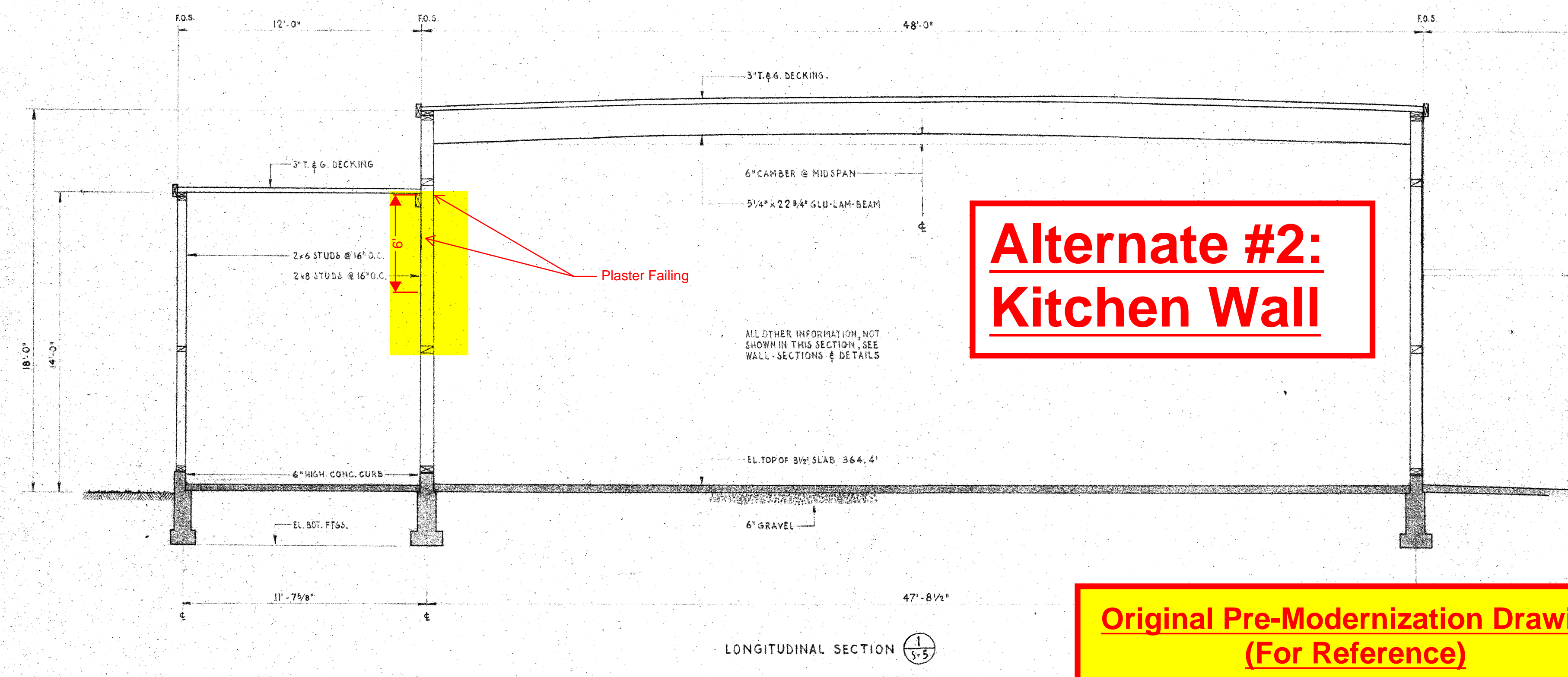
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OWNER: \_\_\_\_\_  
 Authorized Agent  
**BUELLTON UNION SCHOOL DISTRICT**  
 POST OFFICE BOX 5  
 BUELLTON, CALIFORNIA  
 TELEPHONE SANTA YNEZ 3292

**JOHN BADGLEY A.I.A. ARCHITECT**  
 1101 MARSH STREET  
 SAN LUIS OBISPO, CALIFORNIA  
 TELEPHONE: Liberty 3-6221 (DDD-905)  
 C-1415

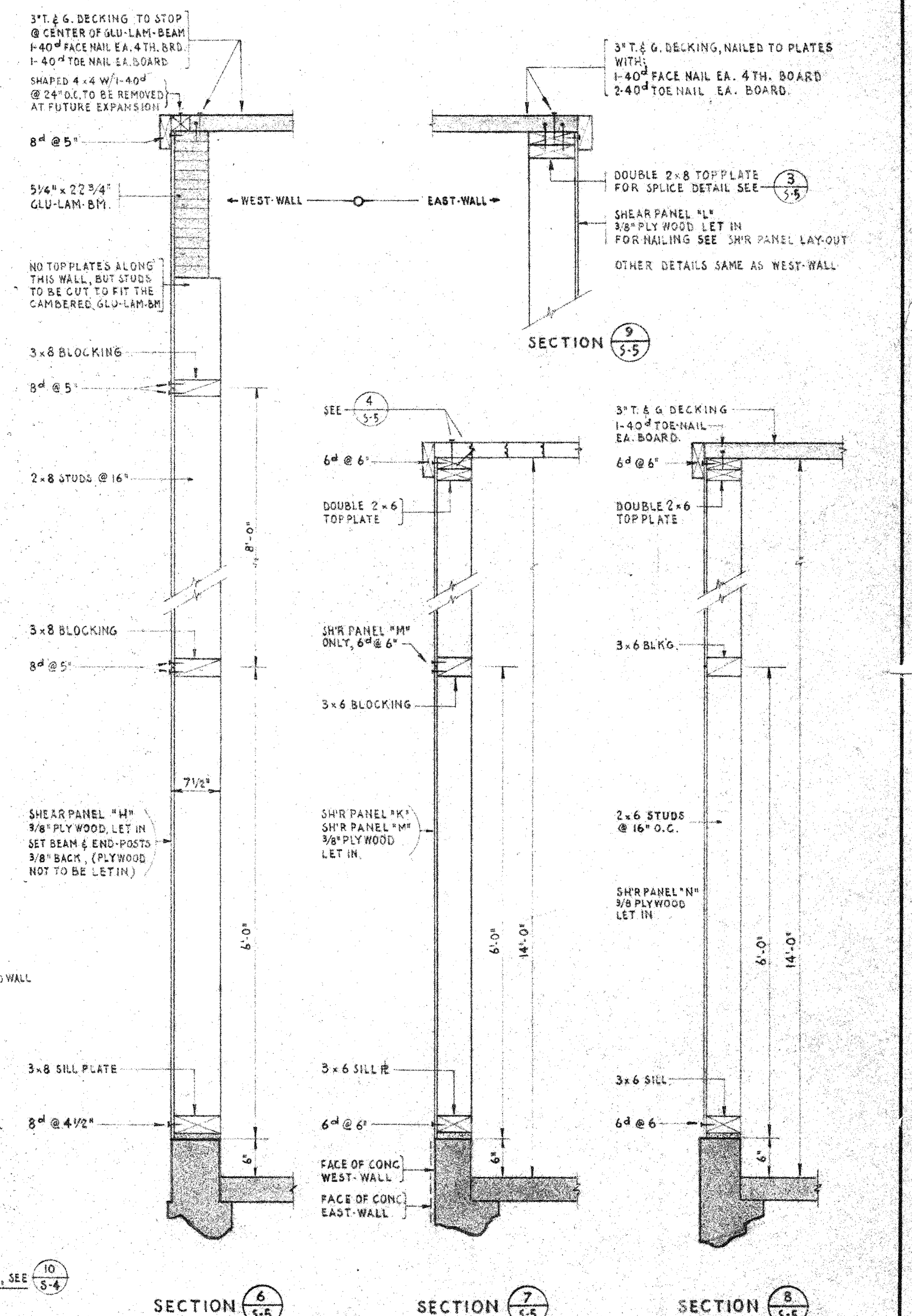
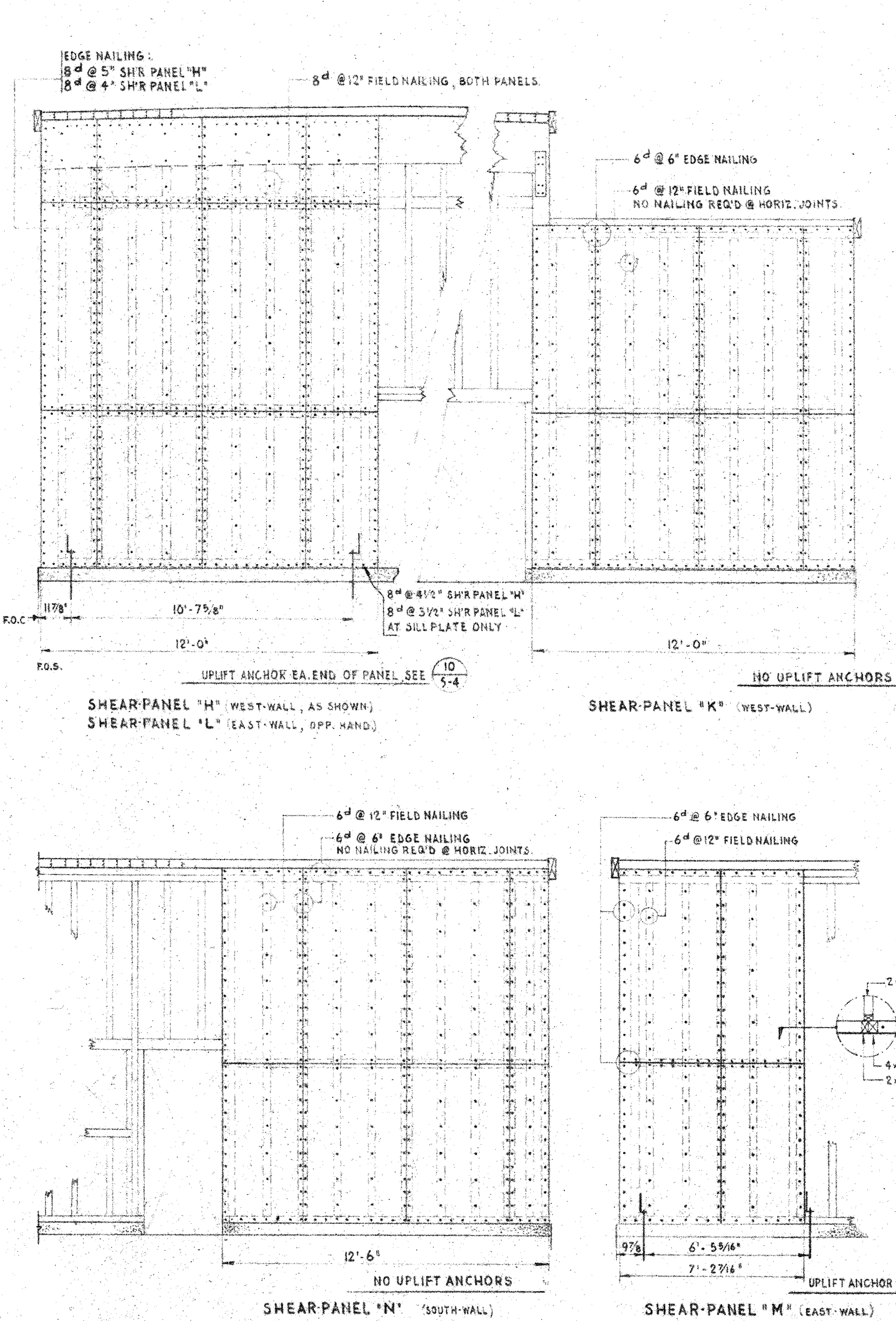
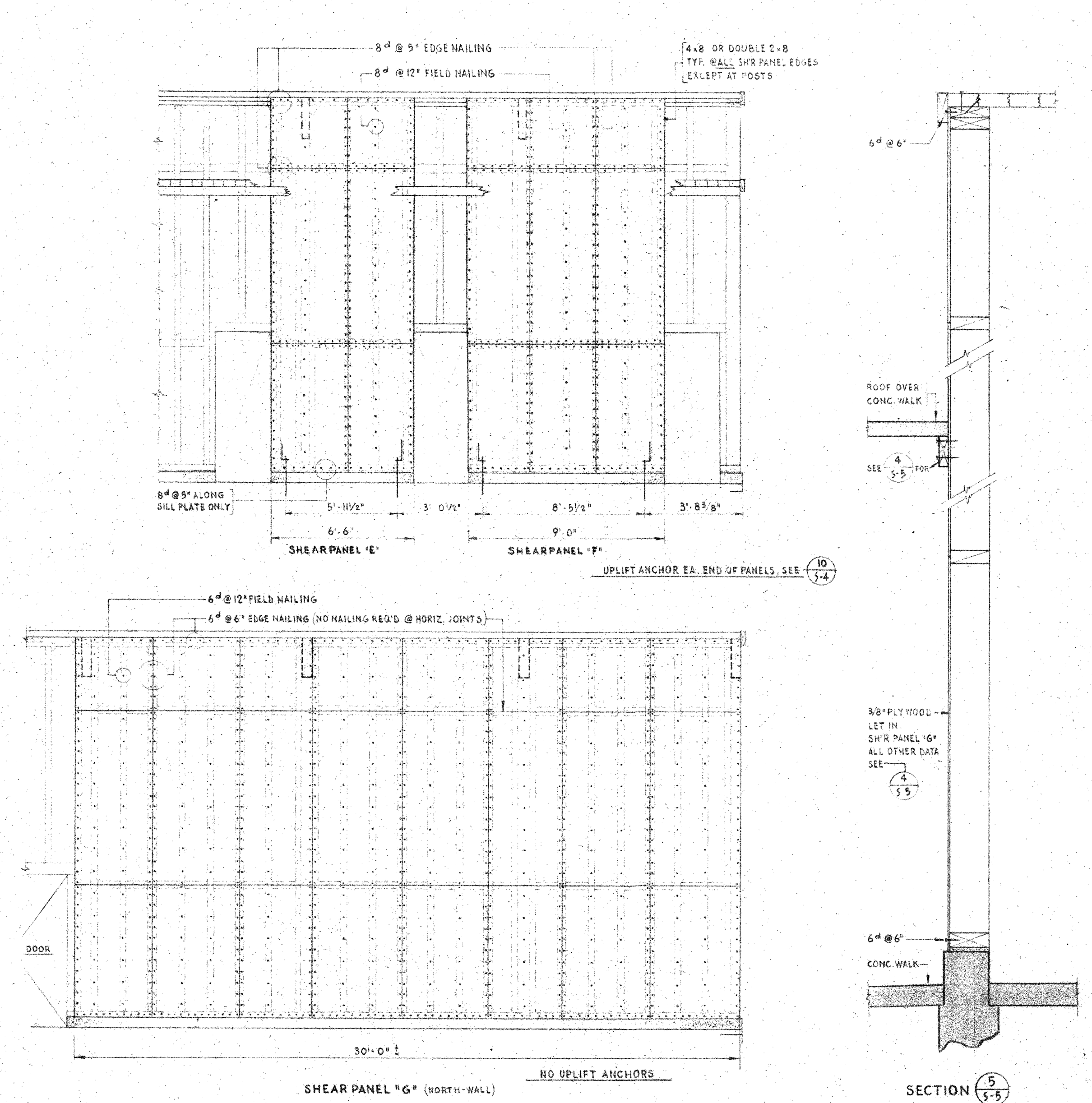
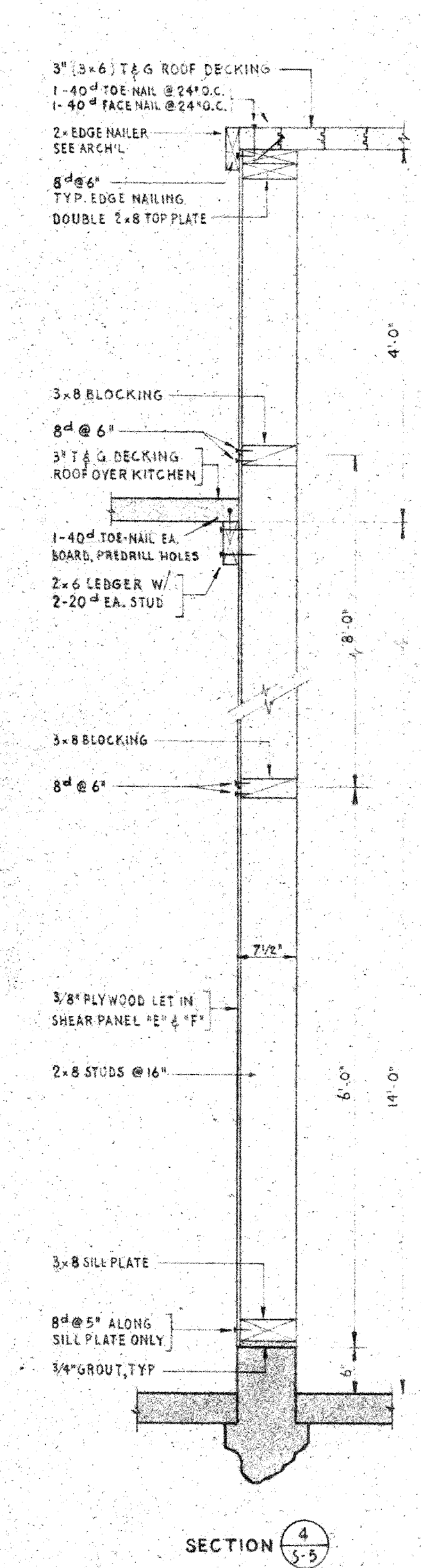
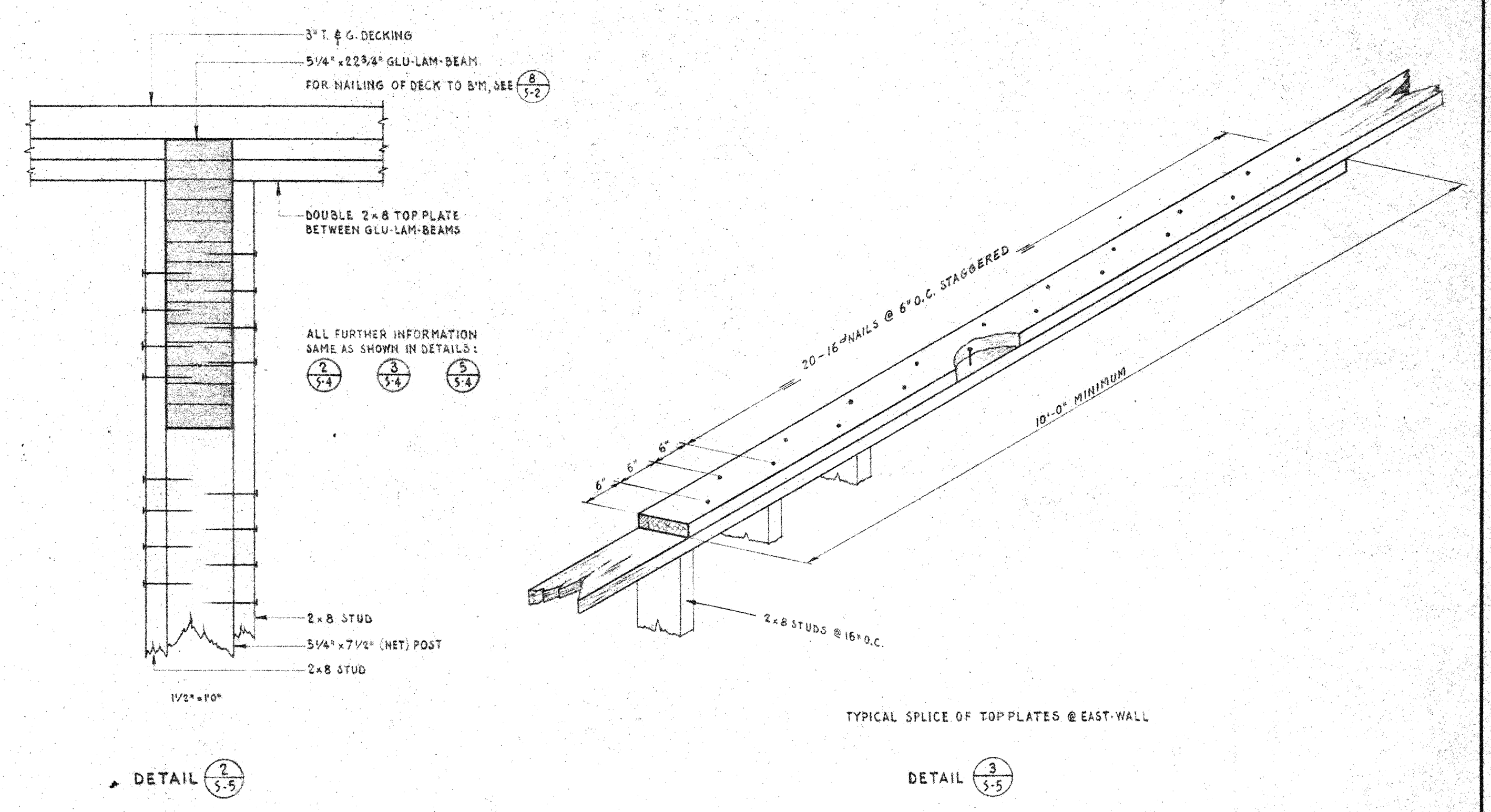
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 JOB TITLE: **Buellton Elementary School**  
 JOB NO: **5817**  
 DRAWN BY: **T.C.D.**  
 CHECKED BY: **[Signature]**  
 DATE: \_\_\_\_\_  
 SHEET **8** OF 12 SHEETS





**Alternate #2:  
Kitchen Wall**

**Original Pre-Modernization Drawing  
(For Reference)**



APPROVED:  
VERIFY ALL DIMENSIONS, MEASUREMENTS AND DATA AT THE BUILDING SITE. REPORT ANY ERRORS, DISCREPANCIES OR QUESTIONS TO THE OFFICE OF THE ARCHITECT. THESE PLANS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE PREPARED FOR CONTRACT CONSTRUCTION WORK AND SHALL BE USED ONLY UNDER SPECIFIC AGREEMENT WITH THE ARCHITECT.

OWNER:  
**BUELLTON UNION SCHOOL DISTRICT**  
POST OFFICE BOX 5  
BUELLTON, CALIFORNIA  
TELEPHONE SANTA YNEZ 3292

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**BUELLTON UNION SCHOOL DISTRICT**  
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1101 MARSH STREET  
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SHEET TITLE: MULTI-USE-BUILDING  
SECTIONS, SHEARPANELS & DETAILS.  
JOB TITLE: **Buellton Elementary School**

JOB NO. 5817  
DRAWN BY  
CHECKED BY  
DATE  
SHEET S-5  
OF 6 SHEETS



**DOCUMENT 00 54 60**

**HAZARDOUS MATERIALS PROCEDURES & REQUIREMENTS**

**1. Summary**

This document includes information applicable to hazardous materials and hazard waste abatement.

**2. Notice of Hazardous Waste or Materials Conditions**

- a. Contractor shall give written notice to the District, Construction Manager, and Architect promptly, before any of the following conditions are disturbed, and in no event later than twenty-four (24) hours after first observance, of any:
  - (1) Material that Contractor believes may be material that is hazardous waste or hazardous material, as defined in section 25117 of the Health and Safety Code, that is required to be removed to a Class I, Class II, or Class III disposal site in accordance with provisions of existing law;
  - (2) Other material that may present a substantial danger to persons or property exposed thereto in connection with Work at the Project Site.
- b. Contractor's written notice shall indicate whether the hazardous waste or material was shown or indicated in the Contract Documents to be within the scope of Work, and whether the materials were brought to the site by Contractor, its Subcontractors, suppliers, or anyone else for whom Contractor is responsible. As used in this section the term "hazardous materials" shall include, without limitation, asbestos, lead, Polychlorinated biphenyl (PCB), petroleum and related hydrocarbons, and radioactive material.
- c. In response to Contractor's written notice, the District shall investigate the identified conditions.
- d. If the District determines that conditions do not involve hazardous materials or that no change in terms of Contract is justified, District shall so notify Contractor in writing, stating reasons. If the District and Contractor cannot agree on whether conditions justify an adjustment in the Contract Price or Contract Time, or on the extent of any adjustment, Contractor shall proceed with the Work as directed by District.
- e. If after receipt of notice from District, Contractor does not agree to resume Work based on a reasonable belief it is unsafe, or does not agree to resume Work under special conditions, then the District may order that portion of Work connected with the hazardous condition or affected area, be deleted from the Work, or performed by others, or the District may invoke its rights to terminate the Contract in whole or in part. The District will determine entitlement to or the amount or extent of an adjustment, if any, in the Contract Price or Contract Time as a result of deleting such portion of Work, or performing the Work by others.
- f. If Contractor stops Work in connection with any hazardous condition and in any area affected thereby, Contractor shall immediately redeploy its workers, equipment, and materials, as necessary, to other portions of the Work to minimize delay and disruption.

**3. Additional Warranties and Representations**

- a. Contractor represents and warrants that it, its employees, and its Subcontractors and their employees, shall at all times have the required levels of familiarity with the Project Site and the Work, training, and ability to comply fully with all applicable law and contract requirements for safe and expeditious performance of the Work, including whatever training is or may be required regarding the activities to be



performed (including, but not limited to, all training required to address adequately the actual or potential dangers of Contract performance).

- b. Contractor represents and warrants that it, its employees, and its Subcontractors and their employees, shall at all times have and maintain in good standing any and all certifications and licenses required by applicable federal, state, and other governmental and quasi-governmental requirements applicable to the Work.
- c. Contractor represents and warrants that it has studied carefully all requirements of the Specifications regarding procedures for demolition, hazardous waste abatement, or safety practices, specified in the Contract, and prior to submitting its bid, has either (a) verified to its satisfaction that the specified procedures are adequate and sufficient to achieve the results intended by the Contract Documents, or (b) by way of approved "or equal" request or request for clarification and written Addenda, secured changes to the specified procedures sufficient to achieve the results intended by the Contract Documents. Contractor accepts the risk that any specified procedure will result in a completed Project in full compliance with the Contract Documents.

#### 4. Monitoring and Testing

- a. District reserves the right, in its sole discretion, to conduct air monitoring, earth monitoring, Work monitoring, and any other tests (in addition to testing required under the agreement or applicable law), to monitor Contract requirements of safe and statutorily compliant work methods and (where applicable) safe re-entry level air standards under state and federal law upon completion of the job, and compliance of the work with periodic and final inspection by public and quasi-public entities having jurisdiction.
- b. Contractor acknowledges that the District has the right to perform, or cause to be performed, various activities and tests including, but not limited to, pre-abatement, during abatement, and post-abatement air monitoring, that District shall have no obligation to perform said activities and tests, and that a portion of said activities and tests may take place prior to the completion of the Work by Contractor. In the event the District elects to perform these activities and tests, Contractor shall afford District ample access to the Site and all areas of the Work as may be necessary for the performance of these activities and tests. Contractor will include the potential impact of these activities or tests by District in the Contract Price and the Scheduled Completion Date.
- c. Notwithstanding the District's rights granted by this paragraph, Contractor may retain its own industrial hygiene consultant at Contractor's own expense and may collect samples and perform tests including, but not limited to, pre-abatement, during abatement, and post-abatement personal air monitoring, and District reserves the right to request documentation of all such activities and tests performed by Contractor relating to the Work and Contractor shall provide that documentation immediately upon request, but in no event later than **THREE (3)** days upon request.

#### 5. Compliance with Laws

- a. Contractor shall perform safe, expeditious, and orderly work in accordance with the best practices and the highest standards in the hazardous waste abatement, removal, and disposal industry, the applicable law, and the Contract Documents, including, but not limited to, all responsibilities relating to the preparation and return of waste shipment records, all requirements of the law, delivering of all requisite notices, and obtaining all necessary governmental and quasi-governmental approvals.
- b. Contractor represents that it is familiar with and shall comply with all laws applicable to the Work or completed Work including, but not limited to, all federal, state, and local laws, statutes, standards, rules, regulations, and ordinances applicable to the Work relating to:



- (1) The protection of the public health, welfare and environment;
- (2) Storage, handling, or use of asbestos, PCB, lead, petroleum based products or other hazardous materials;
- (3) The generation, processing, treatment, storage, transport, disposal, destruction, or other management of asbestos, PCB, lead, petroleum, or hazardous waste materials or other waste materials of any kind; and
- (4) The protection of environmentally sensitive areas such as wetlands and coastal areas.

## **6. Disposal**

- a. Contractor has the sole responsibility for determining current waste storage, handling, transportation, and disposal regulations for the Project Site and for each waste disposal facility. Contractor must comply fully at its sole cost and expense with these regulations and any applicable law. The District may, but is not obligated to, require submittals with this information for it to review consistent with the Contract Documents.
- b. Contractor shall develop and implement a system acceptable to the District to track hazardous waste from the Project Site to disposal, including appropriate "Hazardous Waste Manifests" on the EPA form, so that District may track the volume of waste deposited in each landfill and receive from each facility a certificate of receipt.
- c. Contractor shall provide the District with the name and address of each waste disposal facility prior to any disposal, and District shall have the right to reject any proposed disposal facility. Contractor shall not use any disposal facility to which the District has objected. Contractor shall document actual disposal or destruction of waste at a designated facility by completing a disposal certificate or certificate of destruction forwarding the original to District.

## **7. Permits**

- a. Before performing any of the Work, and at such other times as may be required by applicable law, Contractor shall deliver all requisite notices and obtain the approval of all governmental and quasi-governmental authorities having jurisdiction over the Work. Contractor shall submit evidence satisfactory to the District that Contractor and any disposal facility:
  - (1) have obtained all required permits, approvals, and the like in a timely manner both prior to commencement of the Work and thereafter as and when required by applicable law, and
  - (2) are in compliance with all such permits, approvals and the regulations.

For example, before commencing any work in connection with the Work involving asbestos-containing materials, or PCBs, or other hazardous materials subject to regulation, Contractor agrees to provide the required notice of intent to renovate or demolish to the appropriate state or federal agency having jurisdiction, by certified mail, return receipt requested, or by some other method of transmittal for which a return receipt is obtained, and to send a copy of that notice to District. Contractor shall not conduct any Work involving asbestos-containing materials or PCBs unless Contractor has first confirmed that the appropriate agency having jurisdiction is in receipt of the required notification. All permits, licenses, and bonds that are required by governmental or quasi-governmental authorities, and all fees, deposits, tap fees, offsite easements, and asbestos and PCB disposal facilities expenses necessary for the prosecution of the Work, shall be procured and paid for by Contractor. Contractor shall give all notices and comply with the all applicable laws bearing on the



conduct of the Work as drawn and specified. If Contractor observes or reasonably should have observed that Plans and Specifications and other Contract Documents are at variance therewith, it shall be responsible for promptly notifying District in writing of such fact. If Contractor performs any Work contrary to applicable laws, it shall bear all costs arising therefrom.

- b. In the case of any permits or notices held in the District's name or of necessity to be made in the District's name, the District shall cooperate with Contractor in securing the permit or giving the notice, but the Contractor shall prepare for District review and execution upon approval, all necessary applications, notices, and other materials.

## **8. Indemnification**

- a. To the extent permitted by law, the indemnity obligations, defense obligations, and limitations of liability expressed in the Contract Documents apply with equal force and effect to any claims or liabilities imposed or existing by virtue of the removal, abatement, and disposal of hazardous waste. This includes, but is not limited to, liabilities connected to the selection and use of a waste disposal facility, a waste transporter, personal injury, property damage, loss of use of property, damage to the environment or natural resources, or "disposal" and "release" of materials associated with the Work (as defined in 42 U.S.C. §§ 9601 et seq.).

## **9. Termination**

- a. The District shall have an absolute right to terminate for default immediately without notice and without an opportunity to cure should Contractor intentionally, knowingly or recklessly commit a material breach of the terms of the Contract Documents, or any applicable law, on any matter involving the exposure of persons or property to hazardous waste. However, if the breach of contract exposing persons or property to hazardous waste is due solely to an ordinary, unintentional, and non-reckless failure to exercise reasonable care, then the Contract Documents' provisions related to termination for cause shall apply without modification.

END OF DOCUMENT



## SECTION 09 91 00 - PAINTING

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. This Section includes the following:
  - 1. Surface Preparation.
  - 2. Field application of paints, stains, varnishes, and other coatings (PTG, PTS).
  - 3. Schedules and Interior Elevations on the Contract Documents for finished surfaces.
- B. Related Sections:
  - 1. Finish Schedule on the Contract Documents.

#### 1.3 SUBMITTALS

- 1. Product data - Submit product data sheets for each product.
- 2. Samples:
  - a. Submit three painted samples (brush outs), illustrating selected colors and textures for each color and systems selected with specified coats cascaded.
  - b. Submit on suitable backing, 8x10 inch size.

#### 1.4 QUALITY ASSURANCE

- A. Reference Standards:
  - 1. Title 19 CCR, Public Safety, State Fire Marshall Regulations
  - 2. Title 24 CCR, Part 1 - 2019 Building Standards Administrative Code
  - 3. Title 24 CCR, Part 2 - 2019 California Building Code, VOL. 1&2 (CBC) (2018 IBC, as Amended by CA)
  - 4. Title 24 CCR, Part 3 - 2019 California Electrical Code (CEC) (2017 NEC, as Amended by CA)
  - 5. Title 24 CCR, Part 4 - 2019 California Mechanical Code (CMC) (2018 IAPMO UMC, as Amended by CA)



6. Title 24 CCR, Part 5 - 2019 California Plumbing Code (CPC) (2018 IAPMO UPC, as Amended by CA)
7. Title 24 CCR, Part 6 - 2019 California Energy Code
8. Title 24 CCR, Part 9 - 2019 California Fire Code (CFC) (2018 IFC, as Amended by CA)
9. Title 24 CCR, Part 10 - 2019 California Existing Building Code
10. Title 24 CCR, Part 11 - 2019 California Green Building Standards Code (Calgreen Code)
11. Title 24 CCR, Part 12 - 2019 California Reference Standards (Partial List)
12. 2010 ADA Standards for Accessible Design
13. Americans with Disabilities Act (ADA), Title II or Title III.

#### 1.5 DELIVERY, STORAGE, AND PROTECTION

- A. Deliver products to site in sealed and labeled containers; inspect to verify acceptability.
- B. Container Label: Include manufacturer's name, type of paint, brand name, lot number, brand code, coverage, surface preparation, drying time, cleanup requirements, color designation, and instructions for mixing and reducing.

#### 1.6 ENVIRONMENTAL REQUIREMENTS

- A. Do not apply materials when surface and ambient temperatures are outside the temperature ranges required by the paint product manufacturer.
- B. Provide lighting level of 80 ft candles measured mid-height at substrate surface.
- C. Environment Requirements:
  1. Comply with manufacturer's recommendations as to environmental conditions under which coatings and coating systems can be stored and applied.
  2. Stucco: Provide a PH test of the stucco that shows compliance with PH requirements of the paint manufacturer. Do not apply paint to stucco at PH levels over 10 or the max amount recommended by the paint manufacturer, whichever is less.
  3. Do not paint when there is a threat of rain within 24 hours or when surface or air temperatures are at or below 40 degrees.
  4. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Coatings Suggested Control measure, as shown in Table 5.504.4.3, unless more stringent local limits apply. The VOC Content limit for coatings that do not meet the definitions for specialty coatings categories listed in Table 5.504.4.3 shall be determined by classifying the coating as a Flat, Non-flat or non-flat high gloss coating based on its gloss, as defined in Subsections



4.21, 4.36 and 4.37 of the 2007 California Air Resources Board, suggested Control Measure, and the corresponding Flat, Non-flat or Non-flat-High gloss VOC limit on Table 5.504.4.3 shall apply. *"TABLE 5.504.4.3-VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS"*

5. Aerosol paints and coatings shall meet the PWMIR Limits for ROC in Section 94522(a)(3) and other requirements, including prohibitions on the use of certain toxic compounds and ozone depleting substances. In Sections 94522(c)(2) and (d)(2) of the California Code of Regulations, Title 17, commencing with Section 94520 and in areas under the jurisdiction of the Bay Area Air Quality Management District, (additionally) comply with the percent VOC by weight of product limits of Regulation 8 Rule 49. *"TABLE 5.504.4.3-VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS"*

## 1.7 WARRANTY

- A. Special Warranty: Manufacturer's standard form in which manufacturer agrees to repair or replace paint that fails in materials or workmanship within specified warranty period.
  1. Warranty Period: 1 year.
- B. Installer Warranty: 1 year.

## 1.8 EXTRA STOCK

- A. Provide following with District's permission:
  1. Minimum 2 gallons of each product and each color in an original unopened or new 1 gallon cans.
    - a. Color spot each lid.
    - b. Identify with formula, location, product and date on the lid.

## PART 2 - PRODUCTS

### 2.1 MANUFACTURERS

- A. Paints:
  1. Sherwin Williams Pomar 200 (Basis of Design for VOC, color and quality).
  2. Frazee Paints
  3. Dunn-Edwards.
  4. ICI.
  5. Or equal (Reference substitution requirements in Section 01 25 10)



## 2.2 PAINTS AND COATINGS

- A. Ready mixed, except field-catalyzed coatings.
- B. Prepare pigments:
  - 1. To a soft paste consistency, capable of being readily and uniformly dispersed to a homogenous coating.
  - 2. For good flow and brushing properties.
  - 3. Capable of drying or curing free of streaks or sags.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Verify that surfaces are ready to receive Work as instructed by the product manufacturer.
- B. Examine surfaces scheduled to be finished prior to commencement of work. Report any condition that may potentially affect proper application. Do not proceed unless substrate is suitable.
- C. Test shop-applied primer for compatibility with subsequent cover materials.
- D. Measure moisture content of surfaces using an electronic moisture meter. Do not apply finishes unless moisture content of surfaces are below the following maximums:
  - 1. Plaster and Gypsum Wallboard: 12 percent.
  - 2. Interior Wood: 15 percent, measured in accordance with ASTM D-4442.
  - 3. Exterior Wood: 15 percent, measured in accordance with ASTM D-4442.

### 3.2 PREPARATION OF SURFACE

- A. General:
  - 1. Clean all exterior walls and surfaces of loose and scaly paint, dirt, dust, chalk, and other foreign matter by water-blasting using care not to damage substrate followed by hand scraping, sanding or wire brushing after surfaces are dry. Mildew must be treated with household bleach solution and rinsed thoroughly.
  - 2. Patch, caulk, set protruding nails and repair all surfaces and cracks where necessary with suitable patching materials and smooth off to match adjacent surfaces.
  - 3. Sand Glossy surfaces to dull surface and remove residue.
  - 4. Remove mildew from affected surfaces with a solution of Tri-Sodium Phosphate and bleach. Rinse with clean water and allow to dry completely.



5. Existing surfaces to be recoated shall be thoroughly cleaned and de-glossed by sanding or other means prior to priming and painting. Patched and bare areas shall be spot primed with the same primer as specified for new work.
  6. Rusty metal: Scrape, sand or wire wheel, feathering edges to sound coating. Dust surfaces. Topcoat.
  7. Remove soil and body oils completely from surfaces, including handrails, door edges and posts. Treat with Liquid Sandpaper or Dull-N-Bond.
  8. Remove hardware, accessories, plates, fixtures and similar items not to be finished. Reinstall at completion.
  9. Paint edges of sink cut-outs.
- B. Galvanized Surfaces: Remove all oils and contamination from galvanized surfaces scheduled to be painted by washing with a compliant solvent wash.
- C. Ferrous Metal: Remove grease, rust, scale, dirt and dust from ferrous metal surfaces. Primer coat shall be applied not less than 30 minutes, nor more than 3 hours after preparation of surface.
- D. Primed Metal: Sand and scrape shop primed metal to remove loose primer and rust. Touch-up bare, abraded and damaged areas with metal primer. Feather edges to make touch-up patches inconspicuous.
- E. Wood Surfaces:
1. Remove dust, grit and foreign matter from wood surfaces. Sand surfaces and dust clean. Spot prime knots, pitch streaks and sappy sections with a stain blocking primer where surfaces are to be painted. Fill nail holes, cracks and other defects after priming and spot prime repairs after patching material has fully cured.
  2. Wood surfaces with peeling areas are to have edges of broken paint film sanded to a feather edge.
  3. Back prime wood trim. Paint tops, bottoms, edges and cut-outs of doors.
- F. Plaster Surfaces:
1. Plaster surfaces shall be dry and free from efflorescence, encrustations and foreign matter. Fill cracks, holes and imperfections, smoothing repairs to match adjacent texture. Allow repairs to fully cure before priming.
  2. Prime plaster surfaces with specified primer. Caulk all cracks.
- G. Gypsum Board: Gypsum board shall be dusted clean and free from encrustations and other foreign matter.
- H. Preparation of other surfaces shall be performed following specific recommendations of the coating manufacturer.



### 3.3 APPLICATION

- A. Apply products in accordance with manufacturer's instructions.
- B. Where adjacent sealant is to be painted, do not apply finish coats until sealant is applied.
- C. Do not apply finishes to surfaces that are not dry. Allow applied coats to dry before next coat is applied.
- D. Apply each coat to uniform appearance. Apply each coat of paint slightly darker than preceding coat unless otherwise approved
- E. Sand wood surfaces lightly between coats to achieve required finish.
- F. Vacuum clean surfaces of loose particles. Use tack cloth to remove dust particles just prior to applying next coat.
- G. Stipple all edges and corners to conceal brush marks.
- H. Doors: Paint entire door unless otherwise noted, including door top and bottom edge surfaces.
- I. Paint entire trim element. Painting of faces only is unacceptable. Trim surfaces must be wrapped with the trim color and not "faced off" or "Hollywooded".
- J. Tinting: Tint each primer a lighter shade to facilitate identification of each coat where multiple coats of the same material are applied. Tint primer to match the color of the finish coat, but provide sufficient differences in shade of primer to distinguish each separate coat.

### 3.4 PROTECTION

- A. Protect work of other trades and items not intended to receive paint. Install "wet paint" signs to protect newly painted surfaces.

### 3.5 CLEANING

- A. Protection - Carefully protect areas where work is in progress from damage.
  - 1. Provide and spread clean drop cloths when and where required to provide the necessary protection.
  - 2. Immediately clean-up all accidental spatter, spillage, misplaced paint and restore the affected surface to its original condition.



- B. Clean-up:
  - 1. At completion of work, remove all materials, supplies, debris and rubbish and leave each area in a clean, acceptable condition.
  - 2. Collect waste material which may constitute a fire hazard, place in closed metal containers, and remove daily from site.

### 3.6 SURFACES TO BE FINISHED

- A. Paint all new work and areas affected by new work, unless noted otherwise.
- B. Do not paint or finish the following items:
  - 1. Items fully factory-finished unless specifically noted.
  - 2. Fire rating labels, equipment serial number and capacity labels.
- C. Mechanical and Electrical: Use paint systems defined for the substrates to be finished.
  - 1. Paint all insulated and exposed pipes occurring in finished areas to match background surfaces, unless otherwise indicated.
  - 2. Paint shop primed items occurring in finished areas.
  - 3. Paint interior surfaces of air ducts and convector and baseboard heating cabinets that are visible through grilles and louvers with one coat of flat black paint.
  - 4. Paint dampers exposed behind louvers, grilles and convector and baseboard cabinets to match face panels.

### 3.7 PAINT SYSTEMS – EXTERIOR

- A. Paint New Plaster/Stucco, Cement Siding, Shingles, Common Brick and Concrete Walls, Low Sheen (Satin) Finish. 3 coat:
  - 1. 1st Coat: S-W Loxon Concrete & Masonry Primer Sealer, A24W0300 (8 mils wet, 3.2 mils dry).
  - 2. 2<sup>nd</sup> Coat: S-W #B33W200 Acrylic Low sheen (4 mils wet, 1.5 mils dry per coat)
  - 3. 3<sup>rd</sup> Coat: S-W #B33W200 Acrylic Low sheen (4 mils wet, 1.5 mils dry per coat)
- B. Paint New Plaster/Stucco, Cement Siding, Shingles, Common Brick and Concrete Walls,
  - 1. 1st Coat: S-W Loxon Concrete & Masonry Primer Sealer, A24W0300 (8 mils wet, 3.2 mils dry).
  - 2. 2<sup>nd</sup> Coat: S-W #B35W200 Acrylic Hi-Gloss (4 mils wet, 1.5 mils dry per coat)
  - 3. 3<sup>rd</sup> Coat: S-W #B35W200 Acrylic Hi-Gloss (4 mils wet, 1.5 mils dry per coat)
- C. Paint New Plaster/Stucco, Cement Siding, Shingles, Common Brick and Concrete Walls, Hi-gloss Finish. 3 coats:
  - 1. 1st Coat: S-W Loxon Concrete & Masonry Primer Sealer, A24W0300 (8 mils wet, 3.2 mils dry).



2. 2<sup>nd</sup> Coat: S-W #B35W200 Acrylic Hi-Gloss (4 mils wet, 1.5 mils dry per coat)
  3. 3<sup>rd</sup> Coat: S-W #B35W200 Acrylic Hi-Gloss (4 mils wet, 1.5 mils dry per coat)
- D. Paint New Plaster/Stucco, Cement Siding, Shingles, Common Brick and Concrete Walls, Low Sheen (Satin) Finish. 3 coat:
1. 1st Coat: S-W Loxon Concrete & Masonry Primer Sealer, A24W0300 (8 mils wet, 3.2 mils dry).
  2. 2<sup>nd</sup> Coat: S-W #B33W200 Acrylic Low sheen (4 mils wet, 1.5 mils dry per coat)
  3. 3<sup>rd</sup> Coat: S-W #B33W200 Acrylic Low sheen (4 mils wet, 1.5 mils dry per coat)
- E. Paint New Wood Satin Finish, Latex, 3 coat:
1. 1st Coat: S-W Exterior Latex Wood Primer, B42W8041 (4 mils wet, 1.4 mils dry).
  2. 2<sup>nd</sup> Coat: S-W #B33W200 Latex Satin, (4 mils wet, 1.52 mils dry per coat).
  3. 3<sup>rd</sup> Coat: S-W #B33W200 Latex Satin, (4 mils wet, 1.52 mils dry per coat).
- F. Paint New Unpainted Masonry Satin Finish, Latex, 3 coat:
1. 1st Coat: S-W Exterior Acrylic Masonry Primer, A24W00300 (50-100 sq ft/gal).
  2. 2nd Coat: S-W Super Paint Exterior Acrylic Latex Satin Finish. A89W00507 (4 mils wet, 1.52 mils dry per coat)
  3. 3rd Coat: S-W Super Paint Exterior Acrylic Latex Satin Finish. A89W00507 (4 mils wet, 1.52 mils dry per coat)
- G. Paint New Unpainted CMU Satin Finish, Latex, 3 coat:
1. 1st Coat: S-W Heavy Duty Acrylic Block Filler Primer, B42W00046 (50-100 sq ft/gal).
  2. 2nd Coat: S-W Super Paint Exterior Acrylic Latex Satin Finish. A89W00507 (4 mils wet, 1.52 mils dry per coat)
  3. 3rd Coat: S-W Super Paint Exterior Acrylic Latex Satin Finish. A89W00507 (4 mils wet, 1.52 mils dry per coat)
- H. Paint New Wood, Satin Finish. Acrylic Latex, 3 coat:
1. 1st Coat: S-W A-100 Exterior Oil Wood Primer, Y24W00020 (8 mils wet, 3.2 mils dry).
  2. 2nd Coat: S-W S-W Super Paint Exterior Acrylic Latex Satin Finish. A89W00507 (4 mils wet, 1.52 mils dry per coat)
  3. 3rd Coat: - S-W Super Paint Exterior Acrylic Latex Satin Finish. A89W00507 (4 mils wet, 1.52 mils dry per coat).
- I. Stain New Wood Siding, Shingles (non-roof) and Trim, Semi-Transparent, 2 coat:
1. 1st Coat: S-W Woodscapes Exterior Polyurethane Semi-Transparent Stain A15W00211
  2. 2nd Coat: S-W Woodscapes Exterior Polyurethane Semi-Transparent Stain A15W00211



- J. Stain New Wood Siding, Shingles (non-roof) and Trim, Opaque Finish, 2 coat:
1. 1st Coat: S-W Woodscapes Exterior Polyurethane Semi-Transparent Stain A15W00211
  2. 2nd Coat: S-W Woodscapes Exterior Polyurethane Semi-Transparent Stain A15W00211
- K. Paint Ferrous Metals Semi-Gloss, Acrylic, 3 coat:
1. 1st Coat: S-W Kem-Bond HS Universal Metal Primer (Off White) B50WZ0004 (5.0 mils wet, 2.0 mils dry). *(If pre Primed: Show compatibility of primer and this coat can be deleted.)*
  2. 2nd Coat: S-W DTM Acrylic Coating Semi-Gloss, B66W00211 (4 mils wet, 1.5 mils dry per coat).
  3. 3rd Coat: S-W DTM Acrylic Coating Semi-Gloss, (4 mils wet, 1.5 mils dry per coat).
- L. Paint New Galvanized Metals, Semi-Gloss, Acrylic, Latex 2 coat:
1. 1st Coat: Jasco Metal Etch (5.0 mils wet, 2.0 mils dry). *(If pre Primed: Show compatibility of primer and this coat can be deleted.)*
  2. 2nd Coat: S-W DTM Acrylic Coating Semi-Gloss, B66W00211 (4 mils wet, 1.5 mils dry per coat).
  3. 3rd Coat: S-W DTM Acrylic Coating Semi-Gloss, (4 mils wet, 1.5 mils dry per coat).
- M. Elastomeric Coating:
1. 1<sup>st</sup> Coat - S-W, VIP
  2. 1<sup>st</sup> and 2nd Coats: Minimum (2 mil each coat)

### 3.8 PAINT SYSTEMS -INTERIOR

Latex Enamel (Lo-Sheen), Latex Flat (Weathercoat), Latex Primer (PVA Sealer- Acrylic Primer)

- A. Paint New – Wood, Trim, Doors, Composite Wood Panels, Semi-gloss Latex, 3 coat:
1. 1st Coat: Pro-Mar white lacquer Undercoater White B44WT0001
  2. 2nd Coat: S-W ProMar 200 Interior Latex, Semi-Gloss, Extra white B31W02251. (4 mils wet, 1.3 mils dry per coat)
  3. 3rd Coat: S-W ProMar 200 Interior Latex, Semi-Gloss, Extra white B31W02251. (4 mils wet, 1.3 mils dry per coat)
- B. Paint Ferrous Metals Semi-Gloss, Acrylic, 3 coat:
1. 1st Coat: S-W Kem-Bond HS Universal Metal Primer (Off White) B50WZ0004 (5.0 mils wet, 2.0 mils dry). *If pre-Primed: Show compatibility of primer and this coat can be deleted.*
  2. 2nd Coat: S-W DTM Acrylic Coating Semi-Gloss, B66W00211 (4 mils wet, 1.5 mils dry per coat).



3. 3rd Coat: S-W DTM Acrylic Coating Semi-Gloss, (4 mils wet, 1.5 mils dry per coat)
- C. Paint New Gypsum Board (All Areas except Public Areas , Restrooms and wet Areas) Satin Finish - Latex, 3 coat:
1. 1st Coat: S-W Pro High Holdout Primer, B28WY2000 Series (5.0 mils wet, 2.0 mils dry)
  2. 2nd Coat: S-W ProMar 200 Interior Latex Lo-Sheen ES Enamel Extra White, (4 mils wet, 1.7 mils dry per coat).
  3. 3rd Coat: S-W ProMar 200 Interior Latex Lo-Sheen ES Enamel Extra White, (4 mils wet, 1.7 mils dry per coat).
- D. Paint New Gypsum Board (Public Areas , Restrooms and wet Areas) Semi-Gloss Finish - Latex, 3 coat:
1. 1st Coat: S-W Pro High Holdout Primer, B28WY2000 Series (5.0 mils wet, 2.0 mils dry)
  2. 2nd Coat: S-W ProMar 200 Interior Latex Semi-Gloss Extra White, B20W011251 (4 mils wet, 1.7 mils dry per coat).
  3. 3rd Coat: S-W ProMar 200 Interior Latex Semi-Gloss Extra White, B20W011251 (4 mils wet, 1.7 mils dry per coat).
- E. Paint New Plaster/ Concrete (Public Areas , Restrooms and wet Areas) Semi-Gloss Finish - Latex, 3 coat:
1. 1st Coat: PrepRite Classic Interior Latex Primer, B28W00101 (5.0 mils wet, 2.0 mils dry)
  2. 2nd Coat: S-W ProMar 200 Interior Latex Semi-Gloss Extra White, B31W02251 (4 mils wet, 1.7 mils dry per coat).
  3. 3rd Coat: S-W ProMar 200 Interior Latex Semi-Gloss Extra White, B31W02251 (4 mils wet, 1.7 mils dry per coat).
- F. Paint New Galvanized Metals, Semi-Gloss, Acrylic, Latex 2 coat:
1. 1st Coat: Jasco Metal Etch (5.0 mils wet, 2.0 mils dry). *(If pre Primed: Show compatibility of primer and this coat can be deleted.)*
  2. 2nd Coat: S-W DTM Acrylic Coating Semi-Gloss, B31W02251 (4 mils wet, 1.5 mils dry per coat).
  3. 3rd Coat: S-W DTM Acrylic Coating Semi-Gloss, B31W0225 (4 mils wet, 1.5 mils dry per coat).

### 3.9 COLORS

- A. To be selected by Architect from Manufacturers standard color palette and as scheduled on the "Finish Schedule" provided in the plans.



END OF SECTION 09 91 00